



**COMMITTEES OF COUNCIL**  
**AGENDA**  
**Regular Meeting**

**Mayor Mary Robichaux**  
**Councilmember Sarah Beeson**  
**Councilmember Eren Brumley**  
**Councilmember Christine Hall**  
**Councilmember Jennifer Phillippi**  
**Councilmember Allen Sells**  
**Councilmember Chris Zack**  
**City Administrator Randy Knighton**

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Tuesday, April 14, 2026

5:00 PM

City Hall - Room 220

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**CALL TO ORDER / ROLL CALL**

**Approval of the Minutes**

1. Approval of the Committee Meeting Minutes - March 24, 2026.

**Regular Agenda**

2. Consideration of a Request authorization for the Mayor and/or the City Administrator to sign a renewal contract with Arthur J. Gallagher Risk Management Services, LLC for property, casualty, and management liability insurance in an amount of \$1,339,397.  
*Presented by David Davidson, Chief Legal Officer & City Attorney*
3. Consideration to approve Budget Amendment 21335101-04-27-26 in the amount of \$36,225 for the configuration of Emergency Medical Services (EMS) response bags and the purchase of Life Pack 1000 Automated External Defibrillator (AEDs) with Naloxone  
*Presented by Pabel Troche, Chief of Fire*
4. Consideration of a text amendment to Articles 24.6, Adoption of Roswell Dredging Assistance Policy, Section 24.6.1 - Dredging Assistance Policy of the City of Roswell Code of Ordinances.  
*Presented by Brian Watson, Director of Environmental/Public Works*

5. Consideration of a resolution to update Sanitation/Solid Waste Fees to include a "House/Garage Door" service fee for residents  
*Presented by Brian Watson, Director of Environmental/Public Works*
  
6. Consideration Of Approval of a Retaining Wall over 6 feet for Fellowship Christian School  
*Presented by Jeannie Peyton, Planning and Zoning Director*
  
7. Discussion of the TSPLOST 3 Project List  
*Presented by Andy Phlegar, Director of Transportation*
  
8. Discussion of the Riverside Park Sprayground being converted from a flow-through water system to a recirculating water system.  
*Presented by Steven Malone, Director of Recreation, Parks, Historic & Cultural Affairs*

**Adjournment**



**City of Roswell**  
**Committees of Council**  
**AGENDA ITEM REPORT**

**ID # - 10387**

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**MEETING DATE:** April 14, 2026  
**DEPARTMENT:** Administration  
**ITEM TYPE:** Agenda Vote

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**Approval of the Committee Meeting Minutes - March 24, 2026.**



**COMMITTEES OF COUNCIL**  
**MINUTES**  
**Regular Meeting**

**Mayor Mary Robichaux**  
**Councilmember Sarah Beeson**  
**Councilmember Eren Brumley**  
**Councilmember Christine Hall**  
**Councilmember Jennifer Phillippi**  
**Councilmember Allen Sells**  
**Councilmember Chris Zack**  
**City Administrator Randy Knighton**

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Tuesday, March 24, 2026

5:00 PM

City Hall - Room 220

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**CALL TO ORDER / ROLL CALL**

The meeting was called to order at 5:08 PM by City Administrator Randy Knighton  
 Mayor Mary Robichaux: Present, Councilmember Sarah Beeson: Present,  
 Councilmember Christine Hall: Present, Councilmember Chris Zack: Present,  
 Councilmember Jennifer Phillippi: Present, Councilmember Eren Brumley: Present,  
 Councilmember Allen Sells: Present, City Administrator Randy Knighton: Present.

**Approval of the Minutes**

1. Approval of the Committee Meeting Minutes - March 10, 2026.

<b>RESULT:</b>	<b>APPROVED [UNANIMOUS]</b>
<b>MOVER:</b>	Sarah Beeson, Councilmember
<b>SECONDER:</b>	Mary Robichaux, Mayor
<b>IN FAVOR:</b>	Robichaux, Beeson, Hall, Zack, Phillippi, Brumley, Sells

**Regular Agenda**

2. Discussion on the Old Mill Park Reservation Plan Summer 2026.

<b>RESULT:</b>	<b>DISCUSSED</b>
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3. Consideration for the Mayor or City Administrator to award a contract to Harlequin Flooring in the amount of \$288,699.97 for the completion of the Crabapple Center Interior Flooring with a total budget allocation of \$308,000.00.

**RESULT: APPROVED TO MOVE TO MAYOR AND COUNCIL [UNANIMOUS]**

**Next: 4/13/2026 7:00 PM**

**MOVER:** Sarah Beeson, Councilmember

**SECONDER:** Eren Brumley, Councilmember

**IN FAVOR:** Robichaux, Beeson, Hall, Zack, Phillippi, Brumley, Sells

4. Consideration for the Mayor or City Administrator to award a Task Order to RK&K for the design of Hembree Park in an amount not to exceed \$680,837  
*The motion was to move this item forward to the next Mayor and Council meeting to award a Task Order to RK&K for the design of Hembree Park in an amount not to exceed \$665,237, understanding the dollar amount is subject to change.*

**RESULT: APPROVED TO MOVE TO MAYOR AND COUNCIL [UNANIMOUS]**

**Next: 4/13/2026 7:00 PM**

**MOVER:** Sarah Beeson, Councilmember

**SECONDER:** Christine Hall, Councilmember

**IN FAVOR:** Robichaux, Beeson, Hall, Zack, Phillippi, Brumley, Sells

5. Fiscal Year 2025 Preliminary Unaudited General Fund Budget to Actual Presentation

**RESULT: PRESENTED**

### Adjournment

There being no further comments or discussion the meeting was adjourned at 7:28 PM



**City of Roswell**  
**Committees of Council**  
**AGENDA ITEM REPORT**

ID # - 10320

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**MEETING DATE:** April 14, 2026  
**DEPARTMENT:** City Attorney's Report  
**ITEM TYPE:** Agenda Vote

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**Consideration of a Request authorization for the Mayor and/or the City Administrator to sign a renewal contract with Arthur J. Gallagher Risk Management Services, LLC for property, casualty, and management liability insurance in an amount of \$1,339,397.**

**Action Required:**

Agenda Vote

**Description:**

Consideration of a Request authorization for the Mayor and/or the City Administrator to sign a renewal contract with Arthur J. Gallagher Risk Management Services, LLC for property, casualty, and management liability insurance in an amount of \$1,339,397.

**Financial Impact:**

Funding in the amount of \$1,339,397 is available within the Risk/Liability Fund operating budget.

**Comments:**

See attached

5/1/26 Insurance Renewal:

## COST

- **OVERALL: \$1,339,397**
  - **Second year in a row with a decrease.**
  - **5% (\$66,902) decrease in total premium compared to last year's renewal.**
  - **89% of budgeted amount (savings of \$169,806).**
  - Since last year's renewal, approved citywide budget is up 9%, insured values are up \$11M, and full-time equivalent employee count is up 48.
  - Market analysis of 2025 Q3 through 2026 Q1 shows majority of public sectors experienced a **7-15% increase.**
- **GIRMA: \$1,122,677**
  - 4% decrease.
- **Travelers: \$90,140**
  - 20% decrease.
- **Global Aerospace \$6,580**
  - \$100 increase.
- **Broker fee \$120,000**
  - Flat renewal.

## COVERAGES

- **Property (GIRMA)**
  - \$350,652,794 Total insured values
  - Replacement cost coverage
  - Deductible \$50,000
  - % of GIRMA premium  $\approx$  37%
- **Automobile Physical Damage and Mobile Equipment (GIRMA)**
  - Coverage for selected vehicles/equipment
  - Repair or actual cash value if totaled
  - Deductible \$10,000
  - % of GIRMA premium  $\approx$  6%
- **Automobile Liability (GIRMA)**
  - Coverage for all vehicles
  - Combined single limit of \$1M per occurrence
  - Deductible \$25,000
  - % of GIRMA premium  $\approx$  23%
- **General Liability (GIRMA)**
  - \$3M per occurrence; \$15M aggregate
  - Deductible \$25,000
  - % of GIRMA premium  $\approx$  12%
- **Law Enforcement Liability (GIRMA)**
  - \$3M per occurrence; \$15M aggregate
  - Deductible \$50,000
  - % of GIRMA premium  $\approx$  11%

- Errors and Omissions Liability (GIRMA)
  - \$3M per occurrence; \$15M aggregate
  - Deductible \$50,000
  - Includes Public Officials and Employment Practices
  - % of GIRMA premium  $\approx$  10%
  
- Crime (GIRMA)
  - \$500,000 per occurrence
  - Deductible \$5,000
  - % of GIRMA premium  $\approx$  1%
  
- Cyber (Travelers)
  - \$5M per occurrence; \$5M aggregate
  - Deductible \$50,000
  - Premium \$90,140
  
- Drone Liability (Global Aerospace)
  - \$2M per occurrence; \$2M aggregate
  - Deductible \$0
  - Premium \$6,580



**City of Roswell**  
**Committees of Council**  
**AGENDA ITEM REPORT**

ID # - 10357

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**MEETING DATE:** April 14, 2026

**DEPARTMENT:** Fire

**ITEM TYPE:** Agenda Vote

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**Consideration to approve Budget Amendment 21335101-04-27-26 in the amount of \$36,225 for the configuration of Emergency Medical Services (EMS) response bags and the purchase of Life Pack 1000 Automated External Defibrillator (AEDs) with Naloxone**

**Action Required**

Agenda Vote

**Description**

Consideration to approve Budget Amendment 21335101-04-27-26 in the amount of \$36,225. This request is to use available opioid settlement funds for the purchase and configuration of Emergency Medical Services (EMS) response bags to support increased Naloxone doses designed to improve rapid deployment and field availability of Naloxone during suspected opioid overdose incidents, and purchase of seven Automated External Defibrillators (AED's) with Naloxone for Fire Department administrative vehicles to enhance emergency response capability.

Overdose responses increasingly involve synthetic opioids, including Fentanyl and its analogs, which frequently require multiple doses of Naloxone for successful reversal. Current EMS configurations provide limited on-person availability, typically two doses per pharmaceutical case, which can delay administration and limit dosing availability during critical patient care.

To improve immediate access and reduce time spent administering pharmaceuticals, the Department proposes reconfiguring EMS response bags to prioritize rapid Naloxone deployment. This initiative would increase the quantity of Naloxone carried per response bag from 2 to 5 doses and standardize placement within the primary EMS bag to eliminate delays associated with secondary retrieval. The configuration will be implemented consistently across all front-line apparatus to ensure uniform response capability.

Additionally, the Roswell Fire Department (RFD) formally requests authorization to allocate \$21,221.48 from the Opioid lawsuit settlement funds for the purchase of seven (7) Life Pack 1000 Automated External Defibrillator (AEDs) with Naloxone. These units will be installed in Fire Department administrative vehicles to enhance the chain of survival during medical emergencies, specifically targeting opioid-related cardiac arrests.

## Agenda Item (ID # 10357)

### Justification and Strategic Alignment

According to the American Heart Association (AHA), critical factors in surviving cardiac arrest include early recognition, early CPR, and early defibrillation. Opioid overdoses are a significant concern because they suppress respiratory drive, which frequently leads to cardiac arrest.

Although RFD administrative vehicles are not primary dispatch units, personnel frequently operate these vehicles within City limits for official duties and on-call response. As a result, these units are often in close proximity to medical emergencies and may respond based on 911 dispatch information. Equipping administrative vehicles with AEDs ensures that personnel can provide immediate life-saving intervention prior to the arrival of front line apparatus.

### Operational Integration and Compatibility

Selecting the Life Pack 1000 AED is a strategic choice, as these devices are fully compatible with the Life Pack 15 advanced cardiac monitors currently used on all Roswell Fire emergency apparatus. This compatibility ensures seamless patient care transition between administrative responders and primary emergency units.

The proposed deployment plan includes:

- **Defibrillation:** One AED assigned to each administrative vehicle, totaling seven.
- **Overdose Reversal:** Two doses of Naloxone stored within each AED case.
- **Cost Efficiency:** The required fourteen (14) doses of Naloxone will be supplied by the Georgia State Office of EMS and Trauma at no cost to the City.

### Strategic Alignment with Opioid Settlement Core Abatement Strategies

This initiative aligns with the opioid settlement agreement's Core Abatement Strategies, including:

- **Core Strategy #1:** Naloxone Distribution and Training
- **Core Strategy #7:** Expand Harm Reduction Programs
- **Core Strategy #9:** Support Data Collection and Evaluation

Legal has reviewed the project scope and confirmed that the proposed expenditures fall within the established opioid settlement funding guidelines. Neighboring departments have followed the same successful approach to allocating these funds.

The Department will continue tracking overdose responses, Naloxone administrations per incident, and outcome data to evaluate program effectiveness and inform future abatement strategies.

### Proposed Expenditures:

EMS Response Bag Reconfiguration and Naloxone Deployment Enhancements: \$15,000

Seven (7) Life Pack 1000 AED Units: \$21,221.48

**Total Requested Funding: \$36,225**

**Agenda Item (ID # 10357)****Financial Impact:**

Upon approval of the budget amendment, funding in the amount of \$36,225 will be available in the Opioid Fund Org-21335101, and Project- 58004.

**Comments:**

No backup documents



**City of Roswell**  
**Committees of Council**  
**AGENDA ITEM REPORT**

ID # - 10371

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**MEETING DATE:** April 14, 2026  
**DEPARTMENT:** Environmental/Public Works  
**ITEM TYPE:** Agenda Vote

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**Consideration of a text amendment to Articles 24.6, Adoption of Roswell Dredging Assistance Policy, Section 24.6.1 - Dredging Assistance Policy of the City of Roswell Code of Ordinances.**

**Action Required:**

Agenda vote.

**Description:**

This is a text amendment to Article 24.6 Adoption of Roswell Dredging Assistance Policy, Section 24.6.1 Dredging Assistance Policy of the City of Roswell Code of Ordinances.

The text amendment proposes the following:

- Timeline by which a draft application is to be submitted to be evaluated for the following budget year.
- Timeline by which completed application is to be approved to be eligible for the following budget year.
- Timeline by which the Land Disturbance Permit is to be approved to be eligible for the following budget year.
- Clarification on elements to be evaluated when evaluating and prioritizing lakes/ponds.

**Financial Impact:**

N/A

**Comments:**

See attached

- CODE OF ORDINANCES CITY OF ROSWELL GEORGIA  
 Chapter 24 - UTILITIES AND SERVICES  
 Article 24.6 Adoption of Roswell Dredging Assistance Policy

## **Article 24.6 Adoption of Roswell Dredging Assistance Policy<sup>1</sup>**

### **Section 24.6.1 Dredging Assistance Policy.**

- (a) The city hereby declares that it is a matter of public health, safety and welfare to protect the water resources of the city and to satisfy standards regarding water quality and quantity.
- (b) Partnership policy. In conjunction with the city's program objective to increase the ability of the network of lakes and ponds to satisfy water quantity and quality objectives, and subject to satisfaction of the program criteria, the city may assist interested property owners in the dredging of their lakes and ponds by paying a portion of the cost of sediment removal or related construction costs as deemed appropriate by the city.
- (c) No program funds will be considered for reimbursement or disbursed unless the following are met prior to any construction:
  - (1) A dredging application is obtained from and submitted and recommended by the environmental/public works department of the city for approval;
  - (2) All applications recommended for approval by the city staff must receive the approval of the mayor and council prior to the commencement of the work;
  - (3) If the dredging project that is approved by mayor and council is split into phases, then each phase must be approved by mayor and council prior to the commencement of each phase of work. Each phase of a project is subject to annual budgetary approval as determined at the mayor and council's sole discretion;
  - (4) Payment will be made only with respect to the actual cost of pre-approved work completed to the satisfaction of the city;
  - (5) Payment will be made only after execution of appropriate lien waivers, as determined solely by the city.
- (d) Dredging eligibility criteria. If a lake or pond has a drainage area of at least one hundred (100) acres or design storage of at least twenty (20) acre feet, it qualifies for dredging assistance. Owners of lakes or ponds which do not meet these criteria may petition the mayor and council for inclusion. The merits of including such lakes or ponds shall be reported to mayor and council by the department director of environmental/public works.
- (e) Reimbursement for approved applications.
  - (1) The city may reimburse approved applicants for approved project elements up to a maximum of fifty (50) percent of approved actual cost. The maximum reimbursement will be five hundred thousand dollars (\$500,000.00) per approved dredging project or lake. The maximum reimbursement per approved dredging project or lake may be split into multiple phases, so long as the cumulative reimbursement for all phases does not exceed the maximum reimbursement. Nothing contained herein shall obligate the City to expend or budget for any future expenditures past the current budget

<sup>1</sup>Editor's note(s)—Ord. No. 2022-12-16, Exh. A, adopted December 12, 2022, repealed the former Art. 24.6., § 24.6.1, and enacted a new Art. 24.6 as set out herein. The former Art. 24.6 pertained to similar subject matter and derived from 2015-05-14, adopted May 27, 2015.

- year. Once an approved project or lake has been completed, it will not be eligible for additional funds more frequently than every ten (10) years unless approved in advance by mayor and council.
- (2) Approved applications may be funded as funds are budgeted by mayor and council and allocated under the city's normal budget process. Upon approval applicants may be funded on a "first come first serve basis". The city is under no obligation to continue this policy and may re-prioritize the city's budget at any time.
  - (3) The applicant must submit satisfactory evidence that the pre-approved work has been completed together with:
    - a. An invoice with a copy of all applicable receipts; and
    - b. A summary of all applicable dredging expenses; and
    - c. Satisfactory lien waivers; and
    - d. Such other information as may be required by the city.
- (f) Application and dredging project requirements:
- (1) In order for the dredging of a lake or pond to be accepted into the program, the following criteria must be met:
    - a. Dredging plans must be submitted and approved by the environmental/public works department. Plans will need to meet the city land disturbance permitting requirements.
    - b. All work must be performed by a licensed and insured contractor hired by the applicant(s). Such contractor must have past experience sufficient to satisfy the city.
    - c. All work must be properly permitted by the city and all other appropriate governmental agencies.
    - d. Project design and dredging plans and specifications must be submitted to the city for review and approval thru the city design approval process. Dredging plans must, at a minimum, include details with respect to the spoilage of dredged material; such spoilage must be properly permitted by the city and all other appropriate governmental agencies. Details of the proposed dredging project, bank stabilization and other erosion control measures, during and after project completion, including all items necessary to satisfy city requirements to forestall future sedimentation and erosion, shall be provided to the city.
    - e. It is expressly understood that the city shall have no responsibility for the testing or disposal of hazardous wastes, or any other material collected in the project.
    - f. All work must begin within one (1) year of approval of the application by the mayor and council, provided mayor and council may extend such period in their sole discretion. An extension shall be requested and submitted in writing to the department director of environmental/public works.
  - (2) If the project is split into phases, then the following applies.
    - a. A plan showing the phases and the sequencing shall be submitted with the initial dredging application.
    - b. Work for each phase must begin within one (1) year of approval of the application by the mayor and council, provided mayor and council may extend such period in their sole discretion. The City is under no obligation to budget for or expend any monies not in the current year's budget for any lake or project or phase of project. An extension shall be requested and submitted in writing to the department director of environmental/public works.

- (3) The department director of environmental/public works shall consider the dredging assistance project in light of the city stormwater management program objectives and specifically address the following questions:
- a. Whether the pond proposed for dredging is an essential part of the municipal drainage system based on a hydrology and water quality analysis of the drainage area.
  - b. Whether the work to be performed will benefit the citizens of Roswell as a whole.
- (g) Other requirements and limitations.
- (1) Receipt of program funds will require the execution of a release in favor of the city, suitable to the city attorney, as to any and all claims for damages as a result of siltation or erosion.
  - (2) Dam maintenance and repair costs, including costs for appurtenant structures and facilities such as spillways, outlet control structures and gates, will not be reimbursed in any amount and are not part of dredging assistance. Landscaping improvements, road improvements or maintenance, and other items not directly related to dredging of the lake or pond, in the sole determination of the city's stormwater management division, shall not be eligible for reimbursement.
  - (3) Siltation of a lake or pond must not have been the predominant result of land disturbance activity on the part of the property owner(s) making application under the program or any predecessor in title of said property owner(s).
  - (4) Applicants shall execute, in favor of the city, a permanent easement to allow for access to the lake or pond by city personnel for inspection of the lake or pond and for any work deemed necessary by the city. If the applicant fails to complete the work as deemed necessary, the city may complete the work and assess the properties as allowed by the charter of the city.
  - (5) The city shall have the right to require upstream or downstream measures to minimize incoming sediment and the potential for channel erosion downstream (i.e. forebay). Such measures may be reimbursed as provided herein upon approval of the city.
  - (6) Applicants shall covenant to continue operation of the lake or pond for use as part of the city's stormwater management system according to plans approved by the city and must further covenant to make no changes to the lake or pond structure without the prior, written consent of the city. The form of covenants shall satisfy the city attorney as binding the real estate involved.

(Ord. No. 2022-12-16, Exh. A, 12/12/2022)

- CODE OF ORDINANCES CITY OF ROSWELL GEORGIA  
Chapter 24 - UTILITIES AND SERVICES  
Article 24.6 Adoption of Roswell Dredging Assistance Policy

## **Article 24.6 Adoption of Roswell Dredging Assistance Policy<sup>1</sup>**

### **Section 24.6.1 Dredging Assistance Policy.**

- (a) The city hereby declares that it is a matter of public health, safety and welfare to protect the water resources of the city and to satisfy standards regarding water quality and quantity.
- (b) Partnership policy. In conjunction with the city's program objective to increase the ability of the network of lakes and ponds to satisfy water quantity and quality objectives, and subject to satisfaction of the program criteria, the city may assist interested property owners in the dredging of their lakes and ponds by paying a portion of the cost of sediment removal or related construction costs as deemed appropriate by the city.
- (c) No program funds will be considered for reimbursement or disbursed unless the following are met prior to any construction:
- (1) A dredging application is obtained from and submitted and recommended by the environmental/public works department of the city for approval;
  - (2) All applications recommended for approval by the city staff must receive the approval of the mayor and council prior to the commencement of the work;
  - (3) To be considered for the following year's budget, applicants shall submit a draft application prior to March 31<sup>st</sup>. The draft application shall include at a minimum an estimated itemized construction cost.
  - (4) The complete application shall be approved prior to December 31<sup>st</sup> of the year in which the draft application is submitted.
  - (5) The Land Disturbance Permit shall be approved prior to December 31<sup>st</sup> of the year in which the application is submitted.
  - ~~(36)~~ If the dredging project that is approved by mayor and council is split into phases, then each phase must be approved by mayor and council prior to the commencement of each phase of work. Each phase of a project is subject to annual budgetary approval as determined at the mayor and council's sole discretion;
  - ~~(47)~~ Payment will be made only with respect to the actual cost of pre-approved work completed to the satisfaction of the city;
  - ~~(58)~~ Payment will be made only after execution of appropriate lien waivers, as determined solely by the city.
- (d) Dredging eligibility criteria. If a lake or pond has a drainage area of at least one hundred (100) acres or design storage of at least twenty (20) acre feet, it qualifies as the minimum requirement for dredging assistance. Environmental/public works department shall also consider stormwater benefits, the downstream water quality impact of the lake or pond and the contributing drainage area of the lake or pond in determining prioritization of projects. Owners of lakes or ponds which do not meet these criteria may petition the mayor

<sup>1</sup>Editor's note(s)—Ord. No. 2022-12-16, Exh. A, adopted December 12, 2022, repealed the former Art. 24.6., § 24.6.1, and enacted a new Art. 24.6 as set out herein. The former Art. 24.6 pertained to similar subject matter and derived from 2015-05-14, adopted May 27, 2015.

and council for inclusion. The merits of including such lakes or ponds shall be reported to mayor and council by the department director of environmental/public works.

- (e) Reimbursement for approved applications.
- (1) The city may reimburse approved applicants for approved project elements up to a maximum of fifty (50) percent of approved actual cost. The maximum reimbursement will be five hundred thousand dollars (\$500,000.00) per approved dredging project or lake. The maximum reimbursement per approved dredging project or lake may be split into multiple phases, so long as the cumulative reimbursement for all phases does not exceed the maximum reimbursement. Nothing contained herein shall obligate the City to expend or budget for any future expenditures past the current budget year. Once an approved project or lake has been completed, it will not be eligible for additional funds more frequently than every ten (10) years unless approved in advance by mayor and council.
  - (2) Approved applications may be funded as funds are budgeted by mayor and council and allocated under the city's normal budget process. Upon approval applicants may be funded on a "first come first serve basis". The city is under no obligation to continue this policy and may re-prioritize the city's budget at any time.
  - (3) The applicant must submit satisfactory evidence that the pre-approved work has been completed together with:
    - a. An invoice with a copy of all applicable receipts; and
    - b. A summary of all applicable dredging expenses; and
    - c. Satisfactory lien waivers; and
    - d. Such other information as may be required by the city.
- (f) Application and dredging project requirements:
- (1) In order for the dredging of a lake or pond to be accepted into the program, the following criteria must be met:
    - a. Dredging plans must be submitted and approved by the environmental/public works department. Plans will need to meet the city land disturbance permitting requirements.
    - b. All work must be performed by a licensed and insured contractor hired by the applicant(s). Such contractor must have past experience sufficient to satisfy the city.
    - c. All work must be properly permitted by the city and all other appropriate governmental agencies.
    - d. Project design and dredging plans and specifications must be submitted to the city for review and approval thru the city design approval process. Dredging plans must, at a minimum, include details with respect to the spoilage of dredged material; such spoilage must be properly permitted by the city and all other appropriate governmental agencies. Details of the proposed dredging project, bank stabilization and other erosion control measures, during and after project completion, including all items necessary to satisfy city requirements to forestall future sedimentation and erosion, shall be provided to the city.
    - e. It is expressly understood that the city shall have no responsibility for the testing or disposal of hazardous wastes, or any other material collected in the project.
    - f. All work must begin within one (1) year of approval of the application by the mayor and council, provided mayor and council may extend such period in their sole discretion. An extension shall be requested and submitted in writing to the department director of environmental/public works.
  - (2) If the project is split into phases, then the following applies.

- 
- a. A plan showing the phases and the sequencing shall be submitted with the initial dredging application.
  - b. Work for each phase must begin within one (1) year of approval of the application by the mayor and council, provided mayor and council may extend such period in their sole discretion. The City is under no obligation to budget for or expend any monies not in the current year's budget for any lake or project or phase of project. An extension shall be requested and submitted in writing to the department director of environmental/public works.
- (3) The department director of environmental/public works shall consider the dredging assistance project in light of the city stormwater management program objectives and specifically address the following questions:
- a. Whether the pond proposed for dredging is an essential part of the municipal drainage system based on a hydrology and water quality analysis of the drainage area.
  - b. Whether the work to be performed will benefit the citizens of Roswell as a whole.
- (g) Other requirements and limitations.
- (1) Receipt of program funds will require the execution of a release in favor of the city, suitable to the city attorney, as to any and all claims for damages as a result of siltation or erosion.
  - (2) Dam maintenance and repair costs, including costs for appurtenant structures and facilities such as spillways, outlet control structures and gates, will not be reimbursed in any amount and are not part of dredging assistance. Landscaping improvements, road improvements or maintenance, and other items not directly related to dredging of the lake or pond, in the sole determination of the city's stormwater management division, shall not be eligible for reimbursement.
  - (3) Siltation of a lake or pond must not have been the predominant result of land disturbance activity on the part of the property owner(s) making application under the program or any predecessor in title of said property owner(s).
  - (4) Applicants shall execute, in favor of the city, a permanent easement to allow for access to the lake or pond by city personnel for inspection of the lake or pond and for any work deemed necessary by the city. If the applicant fails to complete the work as deemed necessary, the city may complete the work and assess the properties as allowed by the charter of the city.
  - (5) The city shall have the right to require upstream or downstream measures to minimize incoming sediment and the potential for channel erosion downstream (i.e. forebay). Such measures may be reimbursed as provided herein upon approval of the city.
  - (6) Applicants shall covenant to continue operation of the lake or pond for use as part of the city's stormwater management system according to plans approved by the city and must further covenant to make no changes to the lake or pond structure without the prior, written consent of the city. The form of covenants shall satisfy the city attorney as binding the real estate involved.

(Ord. No. 2022-12-16, Exh. A, 12/12/2022)

Table for Article 24.6 Proposed Changes

Section	Proposed Amendment
24.6.1(c)(3)	Inserted item. This text clarifies when draft application shall be submitted in relation to next budget year.
24.6.1(c)(4)	Inserted item. This text clarifies when final application shall be approved in relation to next budget year.
24.6.1(c)(5)	Inserted item. This text clarifies when the Land Disturbance Permit shall be approved in relation to next budget year.
24.6.1(c)(6)	Renumbered. Used to be 24.6.1(c)(3).
24.6.1(c)(7)	Renumbered. Used to be 24.6.1(c)(4).
24.6.1(c)(8)	Renumbered. Used to be 24.6.1(c)(5).
24.6.1(d)	Added text. This text clarifies items to be considered when evaluating applications.



**City of Roswell**  
**Committees of Council**  
**AGENDA ITEM REPORT**

ID # - 10382

---

**MEETING DATE:** April 14, 2026  
**DEPARTMENT:** Environmental/Public Works  
**ITEM TYPE:** Agenda Vote

---

**Consideration of a resolution to update Sanitation/Solid Waste Fees to include a "House/Garage Door" service fee for residents**

**Action Required:**

Agenda Vote

**Description:**

The Solid Waste Utility proposes to establish a "House/Garage Door Service" fee for residents. This fee would be charged to residents who would like to have their garbage and recycling picked up at their house or garage vs. having it picked up at the street. Those residents who meet the Curbside Exemption criteria would be exempt from this fee.

**Financial Impact:**

Revenues would be collected in Solid Waste Fund.

**Comments:**

See attached.

STATE OF GEORGIA  
 COUNTY OF FULTON  
 CITY OF ROSWELL

April 27, 2026

**RESOLUTION TO ESTABLISH AND ADJUST SANITATION FEES**

**WHEREAS**, the City of Roswell is a Georgia Municipal Corporation; and

**WHEREAS**, the Mayor and Council are the governing authority of the City of Roswell, Georgia; and

**WHEREAS**, the Mayor and Council of the City of Roswell have determined that collection of solid waste from residences and commercial enterprises, and diversion of yard waste and recyclables from the waste stream are essential to the health, safety and general welfare of the citizens of Roswell, and

**WHEREAS**, the Code of Ordinances of the City of Roswell § 24.2.4 provides that a schedule of rates and service options for sanitation services shall be subject to adjustment from time to time by Mayor and Council; and

**WHEREAS**, the Mayor and Council have determined that it is in the public interest to adjust such rates:

**NOW, THEREFORE, BE IT RESOLVED**, by the Mayor and Council of the City of Roswell, Georgia that the fees for sanitation services in Attachment A shall apply to the provision of services provided. Such rates and service options imposed hereby shall become effective as established in Attachment A;

**IT IS FURTHER RESOLVED** by the Mayor and Council of the City of Roswell, Georgia that all other fees for applications shall remain in effect as currently established.

The above resolution was read and approved by the Mayor and Council of the City of Roswell, Georgia, on the 27<sup>th</sup> day of April, 2026.

\_\_\_\_\_  
 Mary Robichaux

\_\_\_\_\_  
 Nancy Long, City Clerk

(Seal)

Attachment: Resolution - Sanitation Fees 2026 (House/Garage Door Service Fee)

**Attachment A**

## Solid Waste Fee

<b>Residential</b>	<b>Current Rate</b>	<b>New Rate (Beginning May 1, 2026)</b>
House/Garage Door	N/A	\$95.57



**City of Roswell**  
**Committees of Council**  
**AGENDA ITEM REPORT**

ID # - 10396

---

**MEETING DATE:** April 14, 2026  
**DEPARTMENT:** Community Development  
**ITEM TYPE:** Agenda Vote

---

**Consideration Of Approval of a Retaining Wall over 6 feet for Fellowship Christian School**

**Action Required:**

Agenda vote

**Description:**

As part of their plan to relocate a modular classroom building, Fellowship Christian School is requesting approval for a concrete retaining wall with a maximum height of 14.25 feet. The L shaped wall is approximately 250 feet in length. The location of the wall is not visible from any public street and is primarily viewed only from the school's football field.

**Financial Impact:**

N/A

**Comments:**

See attached

SITE WORK CONSTRUCTION DRAWINGS

FELLOWSHIP CHRISTIAN SCHOOL MODULAR CLASSROOM RELOCATION

10965 WOODSTOCK ROAD, ROSWELL, GA 30075

FELLOWSHIP CHRISTIAN SCHOOL

10965 WOODSTOCK ROAD ROSWELL, GA 30075

PROJECT INFORMATION

TVS THOMPSON, VENTULETT, STANBACK & ASSOCIATES, INC. ARCHITECTS

PROJECT CONTACTS

DEVELOPER/PRIMARY PERMITTEE: FELLOWSHIP CHRISTIAN SCHOOL

ARCHITECT: THOMPSON, VENTULETT, STANBACK & ASSOCIATES, INC. ARCHITECTS

CIVIL ENGINEER & LANDSCAPE ARCHITECT: BREEDLOV LAND PLANNING, INC.

LANDSCAPE ARCHITECT: ROGER WELLS, P.L.A.

CIVIL ENGINEER: RAYLOE DAWSON, P.E.

TOPOGRAPHIC & TREE SURVEY\* PREPARED BY: B.E. INC.

BLP JOB NO. 25098

QUANTITIES FOR ENGINEERING FEE CALCULATIONS Table with columns: Item, Measurement / Quantity

SITE DATA Table with fields: ADDRESS, OWNER, PARCEL ID, LAND LOTS, DISTRICT, ZONING CLASSIFICATION, SITE AREA, DISTURBED AREA, EXISTING / PROPOSED IMPERVIOUS

GENERAL NOTES

- 1. NOTIFY ALL UTILITY PROVIDERS 24 HOURS PRIOR TO THE BEGINNING OF UTILITY DESTRUCTION AND REPAIR OR ADJUSTMENTS.

GENERAL DEMOLITION NOTES

- 1. CONTRACTOR SHALL REFER TO PHASING SECTION OF THE SPECIFICATIONS. ALL DEMOLITION SHALL BE COORDINATED WITH PHASING.

CITY OF ROSWELL GENERAL CONSTRUCTION NOTES

- 1. A PRECONSTRUCTION MEETING WITH THE LAND DISTURBANCE INSPECTOR IS REQUIRED PRIOR TO RELEASE OF THE LAND DISTURBANCE PERMIT.

SITE PLAN LEGEND

LAYOUT & STAKING, PAVEMENT MARKINGS, SIGNAGE, SITE GRADING, SITE UTILITIES

LOCATION MAP, FLOODPLAIN MAP, National Flood Hazard Layer FIRMette

Sheet List Table

Table with columns: Sheet Number, Sheet Title

EROSION CONTROL GENERAL NOTES

- 1. NOTIFY CITY/COUNTY INSPECTORS 24 HOURS BEFORE BEGINNING OF EVERY CONSTRUCTION PHASE.

AS-BUILT REQUIREMENTS

- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND PAY FOR ALL AS-BUILT INFORMATION AS REQUIRED BY LOCAL ISSUING AGENCY.

ROSWELL RIGHT OF WAY PERMITS

CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY NECESSARY RIGHT OF WAY ENCRoACHMENT PERMITS THROUGH THE CITY OF ROSWELL.

GENERAL LAYOUT NOTES

- 1. PROPOSED BUILDING USE: MODULAR CLASSROOM RELOCATION.

PLANTING NOTES

- 1. PLANT MATERIALS SHALL MEET MINIMUM REQUIREMENTS AS SET FORTH IN THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK.

GENERAL

- LIMITS OF PROTECTION FENCE EXISTING TREE TO BE REMOVED

STORM DRAINAGE STRUCTURES Table with columns: SYMBOL, DESCRIPTION

FLOOD PLAIN STATEMENT: THE PROJECT SITE DOES NOT LIE WITHIN A FLOOD HAZARD AREA PER FIRM PANEL 13121C0042F, WITH AN EFFECTIVE DATE OF 09-18-2013.

GRADING NOTES

NOTE: CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL EXISTING AND PROPOSED BUILDINGS DURING CONSTRUCTION.

EXCESS CUT

EXCESS CUT MATERIAL: IF QUANTITY OF GRADING MATERIAL IS IN EXCESS OF QUANTITIES NECESSARY TO PROVIDE FINISH GRADE ELEVATIONS INDICATED ON DRAWINGS.

INSUFFICIENT FILL

INSUFFICIENT FILL MATERIAL: IF QUANTITY OF GRADING MATERIAL IS INSUFFICIENT TO PROVIDE FINISH GRADE ELEVATIONS INDICATED ON DRAWINGS.

UTILITY LOCATION NOTES

- 1. CONTRACTOR SHALL BE RESPONSIBLE TO SECURE THE SERVICES OF A PRIVATE UTILITY LOCATOR FIRM DURING THE ENTIRE COURSE OF CONSTRUCTION.

CALL BEFORE YOU DIG

GEORGIA811 logo and website information

FELLOWSHIP CHRISTIAN SCHOOL MODULAR CLASSROOM RELOCATION 10965 WOODSTOCK ROAD

SHEET TITLE: SITE WORK COVER SHEET. Includes project number, sheet number, and date.

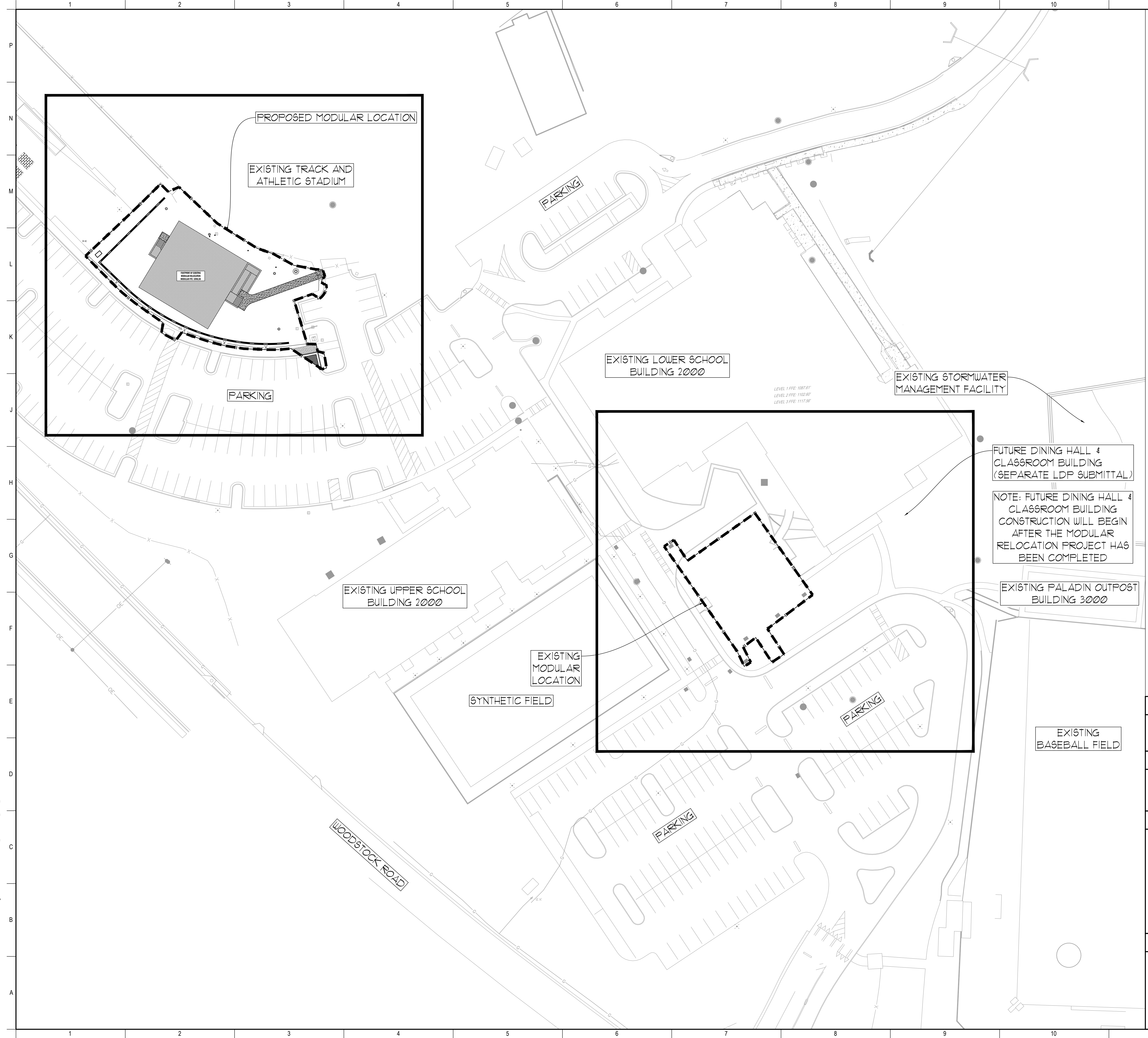
RELEASED FOR CONSTRUCTION



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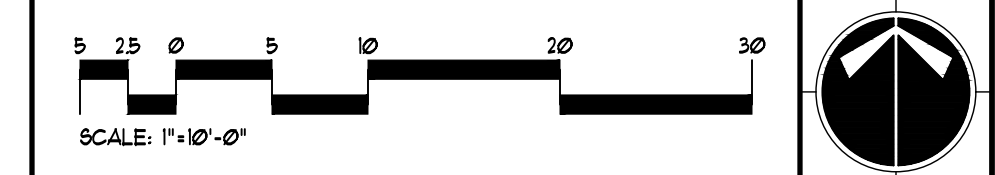


FUTURE DINING HALL & CLASSROOM BUILDING (SEPARATE LDP SUBMITTAL)

NOTE: FUTURE DINING HALL & CLASSROOM BUILDING CONSTRUCTION WILL BEGIN AFTER THE MODULAR RELOCATION PROJECT HAS BEEN COMPLETED

EXISTING PALADIN OUTPOST BUILDING 3000

### GRAPHIC SCALE & ORIENTATION



### DO NOT BREAK OR DUPLICATE

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- 2. CONTRACTOR SHALL IMMEDIATELY REPAIR ALL UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES, AT NO ADDITIONAL COST TO THE OWNER.
- 3. THE UTILITIES SHOWN ARE SCHEMATIC AND FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE DESIGN PROFESSIONAL ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF UTILITIES WITHIN THE LIMITS OF THE WORK. DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR FROM HIGH RISK OPERATIONS SHALL BE IMMEDIATELY REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- 4. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION OF BACKFILL OF ALL UTILITY TRENCHES WITHIN SITE WORK LIMITS. THIS INCLUDES TRENCHES DUG AND BACKFILLED BY LOCAL UTILITIES SUCH AS POWER, GAS, TELEPHONE, ETC. CONTRACTOR SHALL PROVIDE ADDITIONAL BACKFILL AND COMPACTION AS NECESSARY, IF SETTLEMENT OCCURS.

### CALL BEFORE YOU DIG



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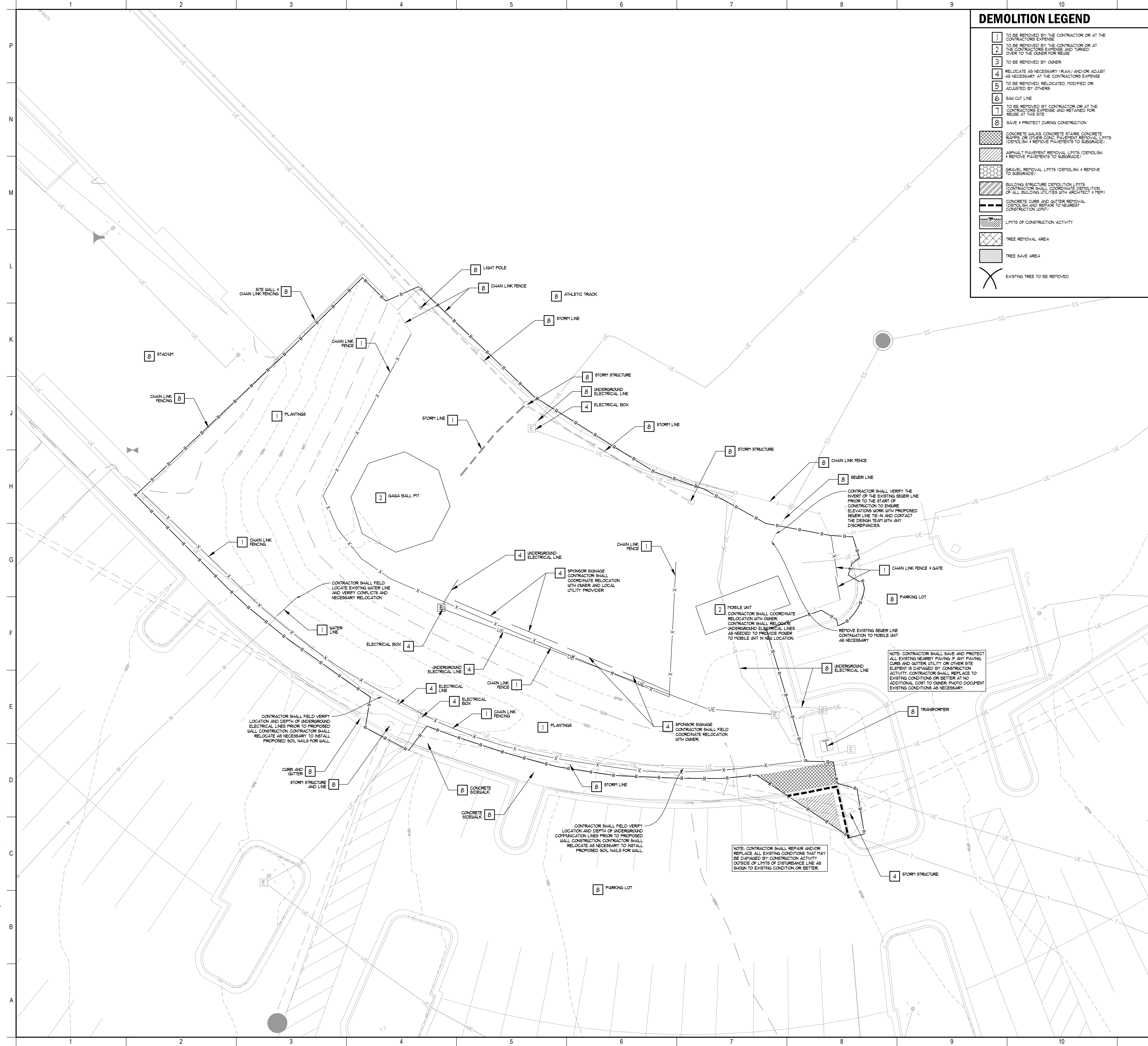
NO.	REVISIONS / SUBMISSIONS	DATE
5	LDP 3RD SUBMITTAL	02/04/2025
4	LDP 2ND SUBMITTAL	02/05/2025
3	LDP SUBMITTAL	01/08/2025
2	DESIGN DEVELOPMENT	11/17/2025
1	SCHEMATIC DESIGN	07/25/2025

**FELLOWSHIP CHRISTIAN SCHOOL**  
MODULAR CLASSROOM RELOCATION  
10965 WOODSTOCK ROAD  
2000 BUILDING  
ROSWELL, GEORGIA 30075

### OVERALL SITE LAYOUT

SEAL: TVS PROJECT NUMBER: P-24187 SHEET NUMBER: C010 ORIGINAL ISSUE DATE: \_\_\_\_\_

RELEASED FOR CONSTRUCTION



### DEMOLITION LEGEND

- 1 TO BE REMOVED BY THE CONTRACTOR OR AT THE CONTRACTOR'S EXPENSE
  - 2 TO BE REMOVED BY THE CONTRACTOR OR AT THE CONTRACTOR'S EXPENSE AND TURNED OVER TO THE OWNER FOR REUSE
  - 3 TO BE REMOVED BY OWNER
  - 4 RELOCATE AS NECESSARY (RAN) AND/OR ADJUST AS NECESSARY AT THE CONTRACTOR'S EXPENSE TO BE REMOVED, RELOCATED, MODIFIED OR ADJUSTED BY OTHERS
  - 5 SAW CUT LINE
  - 6 TO BE REMOVED BY CONTRACTOR OR AT THE CONTRACTOR'S EXPENSE AND RETAINED FOR REUSE AT THIS SITE
  - 8 SAVE + PROTECT DURING CONSTRUCTION
- CONCRETE WALKS, CONCRETE STAIRS, CONCRETE KURBS, OR OTHER CONC. PAVEMENT REMOVAL LIMITS (DEMOLISH + REMOVE PAVEMENTS TO SUBGRADE)
  - ASPHALT PAVEMENT REMOVAL LIMITS (DEMOLISH + REMOVE PAVEMENTS TO SUBGRADE)
  - GRAVEL REMOVAL LIMITS (DEMOLISH + REMOVE TO SUBGRADE)
  - BUILDING STRUCTURE DEMOLITION LIMITS (CONTRACTOR SHALL COORDINATE DEMOLITION OF ALL BUILDING UTILITIES WITH ARCHITECT + MEP)
  - CONCRETE CURBS AND GUTTER REMOVAL (DEMOLISH AND REPAIR TO NEAREST CONSTRUCTION JOINT)
  - LIMITS OF CONSTRUCTION ACTIVITY
  - TREE REMOVAL AREA
  - TREE SAVE AREA
  - EXISTING TREE TO BE REMOVED

### GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL REFER TO PHASING SECTION OF THE SPECIFICATIONS. ALL DEMOLITION SHALL BE COORDINATED WITH PHASING.
- WORK DONE AHEAD OF SEQUENCE OR FOR TEMPORARY PROVISIONS SHALL HAVE EXISTING DISTURBED SURFACES PATCHED TO MATCH ORIGINAL CONDITIONS UNTIL NEW CONSTRUCTION REPLACES SUCH REPAIRS OR MODIFICATIONS.
- CONTRACTOR SHALL PROVIDE NECESSARY EROSION CONTROL MEASURES DURING THE DEMOLITION PHASE OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL ITEMS REMOVED FROM SITE. DISPOSAL SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL CODES. THERE SHALL BE NO ON-SITE BURIAL OF DEBRIS GENERATED FROM CONSTRUCTION ACTIVITIES.
- UNLESS OTHERWISE NOTED, EXISTING ITEMS WITHIN THE PROJECT LIMITS WILL BE RETAINED. IN PLACE AND PROTECTED FROM DAMAGE DURING THE CONSTRUCTION PERIOD. ANY FACILITIES THAT ARE DAMAGED WILL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS/HER EXPENSE.
- CONTRACTOR SHALL SAVE + PROTECT ALL BUILDINGS, FOUNDATIONS, CANOPIES, FENCES, PLAY EQUIPMENT, ETC. ON THE PROPERTY, UNLESS OTHERWISE NOTED. DAMAGE SHALL BE REPAIRED/REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- CONTRACTOR SHALL SAVE AND PROTECT ALL EXISTING STORM DRAINAGE STRUCTURES UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL FENCING WITHIN LIMITS OF WORK UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE WITH OWNER THE REMOVAL ANY EXISTING LANDSCAPE MATERIALS OR SITE FEATURES WHICH THE OWNER ELECTS TO RETAIN.
- CONTRACTOR SHALL ACCOMPLISH DEMOLITION WITHIN THE DRIP-LINE OF EXISTING SPECIFIED TREES BY UTILIZING HAND LABOR PROCEDURES WITHOUT DAMAGING THE ROOT SYSTEM OF TREES.
- CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN SAFE, CLEARLY MARKED PEDESTRIAN ACCESS ROUTES TO ALL BUILDING ENTRANCES THROUGHOUT ALL PHASES OF CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AT ALL TIMES.
- LIMITS OF CURB AND GUTTER DEMOLITION ARE SUBJECT TO THE NEAREST CONSTRUCTION JOINT.
- CURB AND GUTTER SHALL BE REPAIRED TO THE NEAREST CONSTRUCTION JOINT.
- CONTRACTOR SHALL PROVIDE ABRASION SAW CUTS PRIOR TO DEMOLITION ADJACENT TO ALL PAVEMENT AREAS TO BE SAVED FAILURE TO PROVIDE A CLEAN EDGE MAY RESULT IN ADDITIONAL DEMOLITION AND NEW PAVEMENT INSTALLATION PAID FOR AND EXECUTED BY THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OR RELOCATION (AT HIS/HER EXPENSE) OF EXISTING ITEMS THAT CONFLICT WITH NEW CONSTRUCTION UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL AND/OR RELOCATION OF ALL ITEMS WHERE NEW PAVING IS LOCATED.
- CONTRACTOR SHALL REPAIR TO EXISTING CONDITIONS ANY PAVING OR SITE FEATURE POLISHED OR DAMAGED DURING INSTALLATION OF NEW RAIN LEADERS, UTILITIES OR OTHER NEW SITE FEATURES.
- CONTRACTOR SHALL RELOCATE OR ADJUST AS NECESSARY ALL EXISTING UTILITY APPURTENANCES (GAS OUTFIT VALVES, FETER BOXES AND/OR COVERS, MANHOLES, ETC.) LOCATED WITHIN THE LIMITS OF CONSTRUCTION TO FINISHED GRADE AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL COORDINATE THE REMOVAL AND OR RELOCATION OF EXISTING GAS AND WATER SYSTEMS, VALVES, LINES, POWER, TELEPHONE AND CABLE LINES THAT SERVE THE EXISTING BUILDINGS WITH THE APPROPRIATE UTILITY COMPANIES.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING IMMEDIATELY ANY DAMAGE TO AN ACTIVE UTILITY.
- REFER TO SITE UTILITY PLANS FOR RELOCATION, REMOVAL, ABANDONMENT, AND/OR MODIFICATION OF ALL EXISTING PIPING FEATURES ON SITE.

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### CALL BEFORE YOU DIG

# GEORGIA811

www.Georgia811.com

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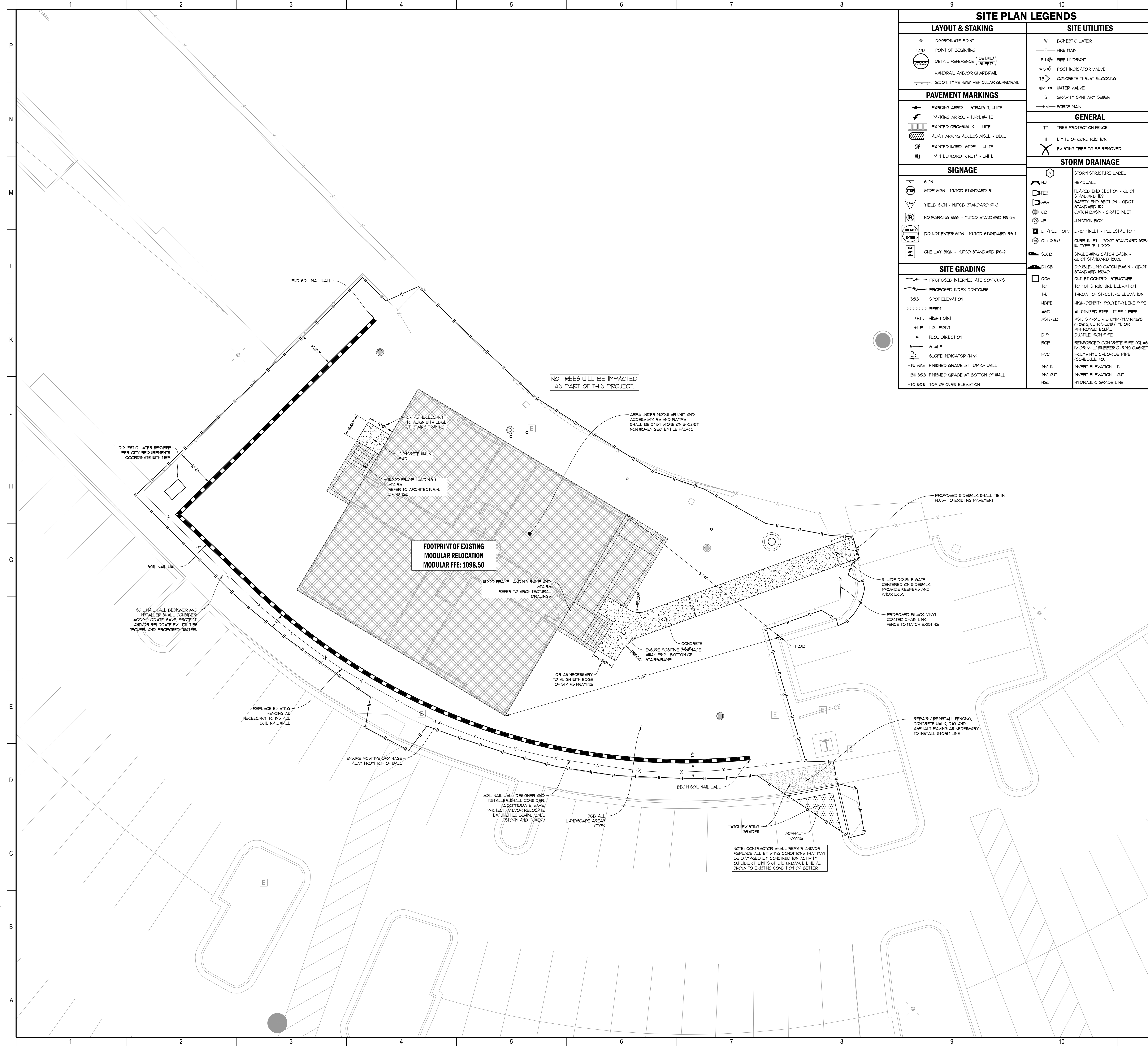
3	LDP SRD SUBMITTAL	02/04/2025
4	LDP 2ND SUBMITTAL	02/05/2025
5	LDP SUBMITTAL	01/08/2025
1	DESIGN DEVELOPMENT	11/17/2024
2	SCHEMATIC DESIGN	07/25/2024
NO.	REVISIONS / SUBMISSIONS	DATE

**FELLOWSHIP CHRISTIAN SCHOOL  
MODULAR CLASSROOM RELOCATION**  
 10965 WOODSTOCK ROAD  
 2000 BUILDING  
 ROSWELL, GEORGIA 30075

**SITE DEMOLITION & REMOVAL PLAN**

SEAL: TVS PROJECT NUMBER: P-24187 SHEET NUMBER: C100 ORIGINAL ISSUE DATE: \_\_\_\_\_

Aubek Doc# P-24187 FCS Demolition Removal Plan - FCS-Admin\_ARCH\_2024.rvt 7/27/2025 3:40:10 PM Attachment: ZNCC-0226-00000 Site Plans (Fellowship Christian School Remaining Wall)



SITE PLAN LEGENDS	
<b>LAYOUT &amp; STAKING</b>	<b>SITE UTILITIES</b>
<ul style="list-style-type: none"> <li>Coordinate Point</li> <li>Point of Beginning</li> <li>Detail Reference (Detail Sheet)</li> <li>Handrail and/or Guardrail</li> <li>GDOT Type 400 Vehicular Guardrail</li> </ul>	<ul style="list-style-type: none"> <li>Domestic Water</li> <li>Fire Main</li> <li>Fire Hydrant</li> <li>Post Indicator Valve</li> <li>Concrete Thrust Blocking</li> <li>Water Valve</li> <li>Gravity Sanitary Sewer</li> <li>Force Main</li> </ul>
<b>PAVEMENT MARKINGS</b>	<b>GENERAL</b>
<ul style="list-style-type: none"> <li>Parking Arrow - Straight, White</li> <li>Parking Arrow - Turn, White</li> <li>Painted Crosswalk - White</li> <li>ADA Parking Access Aisle - Blue</li> <li>Painted Word 'STOP' - White</li> <li>Painted Word 'ONLY' - White</li> </ul>	<ul style="list-style-type: none"> <li>Tree Protection Fence</li> <li>Limits of Construction</li> <li>Existing Tree to be Removed</li> </ul>
<b>SIGNAGE</b>	<b>STORM DRAINAGE</b>
<ul style="list-style-type: none"> <li>Sign</li> <li>Stop Sign - MUTCD Standard R1-1</li> <li>Yield Sign - MUTCD Standard R1-2</li> <li>No Parking Sign - MUTCD Standard R8-34</li> <li>Do Not Enter Sign - MUTCD Standard R8-1</li> <li>One Way Sign - MUTCD Standard R6-2</li> </ul>	<ul style="list-style-type: none"> <li>Storm Structure Label</li> <li>Headwall</li> <li>Flared End Section - GDOT Standard 103</li> <li>Safety End Section - GDOT Standard 103</li> <li>Catch Basin / Grate Inlet</li> <li>Junction Box</li> <li>Drop Inlet - Pedestal Top</li> <li>Curb Inlet - GDOT Standard 103B (W Type 'E' Hood)</li> <li>Single-Wing Catch Basin - GDOT Standard 1033D</li> <li>Double-Wing Catch Basin - GDOT Standard 1034D</li> <li>Outlet Control Structure</li> <li>Top of Structure Elevation</li> <li>Throat of Structure Elevation</li> <li>HDPE High-Density Polyethylene Pipe</li> <li>AST2 Aluminum Steel Type 2 Pipe</li> <li>AST1-5B AST1 Spiral Rib CMP (Manings Hard Ultralight) (TH) or Approved Equal</li> <li>DIP Ductile Iron Pipe</li> <li>RCP Reinforced Concrete Pipe (Class IV or V) w/ Rubber O-Ring Gasket</li> <li>PVC Polyvinyl Chloride Pipe (Schedule 40)</li> <li>NV, N Invert Elevation - In</li> <li>NV, OUT Invert Elevation - Out</li> <li>HGL Hydraulic Grade Line</li> </ul>
<b>SITE GRADING</b>	
<ul style="list-style-type: none"> <li>Proposed Intermediate Contours</li> <li>Proposed Index Contours</li> <li>Spot Elevation</li> <li>Berry</li> <li>High Point</li> <li>Low Point</li> <li>Flow Direction</li> <li>Scale</li> <li>Slope Indicator (4:1)</li> <li>Finished Grade at Top of Wall</li> <li>Finished Grade at Bottom of Wall</li> <li>Top of Curb Elevation</li> </ul>	

**GENERAL LAYOUT NOTES**

- PROPOSED BUILDING USE: MODULAR CLASSROOM RELOCATION
- CONTRACTOR SHALL VERIFY CONDITIONS AND DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE REPORTED TO THE ARCHITECT FOR CLARIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH THE WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR DISCREPANCIES WHICH ARE NOT REPORTED.
- CONTRACTOR SHALL STAKE ALL BUILDING CORNERS AND OBTAIN ARCHITECTS APPROVAL BEFORE POURING ANY FOOTINGS.
- REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
- ALL DIMENSIONS ARE TO THE FACE OF CURBS AND FACE OF WALLS.
- ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
- CURB AND GUTTER RADI ARE 5' UNLESS OTHERWISE NOTED.

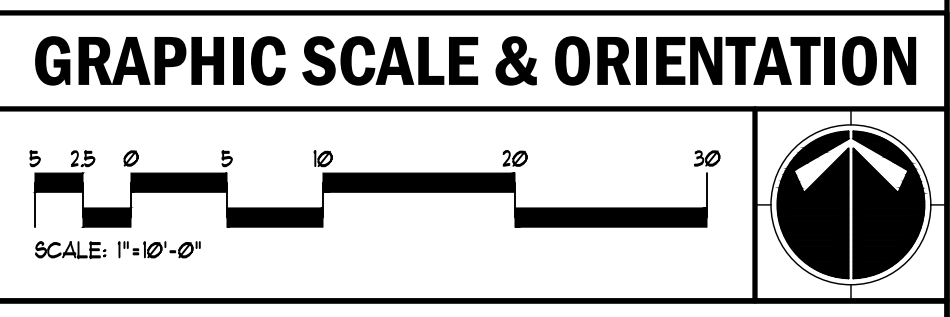
**PAVING LEGEND**

- ASPHALT PAVING
- CONCRETE WALK
- 800 - BLUE TAG CERTIFIED TRUWAY 405 BEEMUDA 800

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- THE UTILITIES SHOWN ARE SCHEMATIC AND FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE DESIGN PROFESSIONAL ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF UTILITIES WITHIN THE LIMITS OF THE WORK. DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR FROM ANY WORK OPERATIONS SHALL BE IMMEDIATELY REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION OF BACKFILL OF ALL UTILITY TRENCHES WITHIN SITE WORK LIMITS. THIS INCLUDES TRENCHES DUG AND BACKFILLED BY LOCAL UTILITIES SUCH AS POWER, GAS, TELEPHONE, ETC. CONTRACTOR SHALL PROVIDE ADDITIONAL BACKFILL AND COMPACTION AS NECESSARY, IF SETTLEMENT OCCURS.

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NO.	REVISIONS / SUBMISSIONS	DATE
5	LOP 3RD SUBMITTAL	02/04/2025
4	LOP 2ND SUBMITTAL	02/05/2025
3	LOP SUBMITTAL	01/08/2025
2	DESIGN DEVELOPMENT	11/17/2025
1	SCHEMATIC DESIGN	07/25/2025

**FELLOWSHIP CHRISTIAN SCHOOL  
MODULAR CLASSROOM RELOCATION**  
10965 WOODSTOCK ROAD  
2000 BUILDING  
ROSWELL, GEORGIA 30075

**SITE LAYOUT & STAKING PLAN -  
PROPOSED MODULAR LOCATION**

SHEET NUMBER: **C200**

TVS PROJECT NUMBER: P-24187

ORIGINAL ISSUE DATE: \_\_\_\_\_

**RELEASED FOR CONSTRUCTION**

### EROSION CONTROL GENERAL NOTES

- NOTIFY CITY OF ROSWELL / FULTON COUNTY INSPECTORS 24 HOURS BEFORE BEGINNING OF EVERY CONSTRUCTION PHASE.
- ALL BUFFERS AND TREE SAVE AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
- THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES AND CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- ALL SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY GRADING.
- SEDIMENT BARRIER DEVICES SHALL BE INSPECTED AND REPAIRED OR DAMAGED DAILY. ANY ACCUMULATED SEDIMENT SHALL BE REMOVED AND SPREAD ON SITE.
- ALL DISTURBED AREAS SHALL BE GRASSED AS SOON AS CONSTRUCTION PHASE PERMITS.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION OR AS REQUIRED BY COUNTY.
- MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES (WHETHER TEMPORARY OR PERMANENT) SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ANY DISCREPANCY BETWEEN THIS SHEET AND OTHERS IN THIS SET SHALL BE REFERRED TO THE ARCHITECT BY THE CONTRACTOR FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- SEDIMENT STORAGE LEVEL MARKERS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE 1/3 FULL VOLUME.
- MAXIMUM CUT OR FILL SLOPE IS (1) : 2 HORIZONTAL TO 1 VERTICAL.
- CONTRACTOR SHALL PROVIDE TEMPORARY DRAIN DRAINS ON FILL SLOPES TO PREVENT EROSION PRIOR TO STABILIZATION.
- CONTRACTOR SHALL REMOVE ACCUMULATED SEDIMENT FROM DETENTION BASIN AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN FULLY STABILIZED.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

### PERMANENT STABILIZATION LEGEND

**Ds4** 500 - BLUE TAG CERTIFIED TRIMAY 419 BEER/UDA 500

### SITE PLAN LEGENDS

LAYOUT & STAKING	SITE UTILITIES
<ul style="list-style-type: none"> <li>COORDINATE POINT</li> <li>POINT OF BEGINNING</li> <li>DETAIL REFERENCE (DETAIL SHEET)</li> <li>HANDRAIL AND/OR GUARDRAIL</li> <li>GDOT TYPE 400 VEHICULAR GUARDRAIL</li> </ul>	<ul style="list-style-type: none"> <li>DOMESTIC WATER</li> <li>FIRE MAIN</li> <li>FIRE HYDRANT</li> <li>POST INDICATOR VALVE</li> <li>CONCRETE THRUST BLOCKING</li> <li>WATER VALVE</li> <li>GRAVITY SANITARY SEWER</li> <li>FORCE MAIN</li> </ul>
PAVEMENT MARKINGS	GENERAL
<ul style="list-style-type: none"> <li>PARKING ARROW - STRAIGHT, WHITE</li> <li>PARKING ARROW - TURN, WHITE</li> <li>PAINTED CROSSWALK - WHITE</li> <li>ADA PARKING ACCESS ARROW - BLUE</li> <li>PAINTED WORD 'STOP' - WHITE</li> <li>PAINTED WORD 'ONLY' - WHITE</li> </ul>	<ul style="list-style-type: none"> <li>TREE PROTECTION FENCE</li> <li>LIMITS OF CONSTRUCTION</li> <li>EXISTING TREE TO BE REMOVED</li> </ul>
SIGNAGE	STORM DRAINAGE
<ul style="list-style-type: none"> <li>SIGN</li> <li>STOP SIGN - MUTCD STANDARD R1-1</li> <li>YIELD SIGN - MUTCD STANDARD R1-2</li> <li>NO PARKING SIGN - MUTCD STANDARD RB-34</li> <li>DO NOT ENTER SIGN - MUTCD STANDARD RB-1</li> <li>ONE WAY SIGN - MUTCD STANDARD R6-1</li> </ul>	<ul style="list-style-type: none"> <li>HEADWALL</li> <li>FLARED END SECTION - GDOT STANDARD 107</li> <li>SAFETY END SECTION - GDOT STANDARD 107</li> <li>CATCH BASIN / GATE NILET</li> <li>JUNCTION BOX</li> <li>DROP INLET - FEDESTAL TOP</li> <li>CURB NILET - GDOT STANDARD 1038</li> <li>TYPE B 1000</li> <li>SINGLE-WING CATCH BASIN - GDOT STANDARD 1033D</li> <li>DOUBLE-WING CATCH BASIN - GDOT STANDARD 1034D</li> <li>OUTLET CONTROL STRUCTURE</li> <li>THROAT OF STRUCTURE ELEVATION</li> <li>TOP OF STRUCTURE ELEVATION</li> <li>HDPE HIGH-DENSITY POLYETHYLENE PIPE</li> <li>ALUMINIZED STEEL TYPE 2 PIPE</li> <li>AST1 SPIRAL REB COP (MANHOLE)</li> <li>STANDARD 107</li> <li>APPROVED EQUAL</li> <li>DUCTILE IRON PIPE</li> <li>REINFORCED CONCRETE PIPE (CLASS IV OR V) W/ RUBBER O-RING GASKET</li> <li>PVC POLYVINYL CHLORIDE PIPE (SCHEDULE 40)</li> <li>NV, N INVERT ELEVATION - IN</li> <li>NV, OUT INVERT ELEVATION - OUT</li> <li>HGL HYDRAULIC GRADE LINE</li> </ul>
SITE GRADING	
<ul style="list-style-type: none"> <li>PROPOSED INTERMEDIATE CONTOURS</li> <li>PROPOSED INDEX CONTOURS</li> <li>SPOT ELEVATION</li> <li>BERM</li> <li>HIGH POINT</li> <li>LOW POINT</li> <li>FLOW DIRECTION</li> <li>SLOPE INDICATOR (4:1)</li> <li>FINISHED GRADE AT TOP OF WALL</li> <li>FINISHED GRADE AT BOTTOM OF WALL</li> <li>TOP OF CURB ELEVATION</li> </ul>	

### GENERAL LAYOUT NOTES

- PROPOSED BUILDING USE: MODULAR CLASSROOM RELOCATION
- CONTRACTOR SHALL VERIFY CONDITIONS AND DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE REPORTED TO THE ARCHITECT FOR CLARIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH THE WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR DISCREPANCIES WHICH ARE NOT REPORTED.
- CONTRACTOR SHALL STAKE ALL BUILDING CORNERS AND OBTAIN ARCHITECT'S APPROVAL BEFORE POURING ANY FOOTINGS.
- REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
- ALL DIMENSIONS ARE TO THE FACE OF CURBS AND FACE OF WALLS.
- ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
- CURB AND GUTTER RADI ARE 5' UNLESS OTHERWISE NOTED.

### PAVING LEGEND

ASPHALT PAVING

CONCRETE WALK

500 - BLUE TAG CERTIFIED TRIMAY 419 BEER/UDA 500

### GEORGIA UNIFORM CODING SYSTEM FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES

CODE	PRACTICE	MAP SYMBOL	CODE	PRACTICE	MAP SYMBOL
Cd	CHECKDAM		Sr	TEMPORARY STREAM CROSSING	
Ch	CHANNEL STABILIZATION		St	STORMWATER OUTLET PROTECTION	
Co	CONSTRUCTION EXIT		Su	SURFACE ROUGHENING	
Cr	CONSTRUCTION ROAD STABILIZATION		Tc	TURBOKIT CURTAIN	
Dc	STREAM DIVERSION CHANNEL		Tp	TOPSOLLING	
Di	DIVERSION		Tr	TREE PROTECTION	
Dn1	TEMPORARY DOWNDRAIN STRUCTURE		Wt	VEGETATED WATERWAY OR STORMWATER CONVEYANCE CHANNEL	
Dn2	PERMANENT DOWNDRAIN STRUCTURE		<b>VEGETATIVE PRACTICES</b>		
Fr	FILTER RING		<b>CODE</b>	<b>PRACTICE</b>	<b>MAP SYMBOL</b>
Ga	GABION		Bf	BUFFER ZONE	
Gr	GRADE STABILIZATION STRUCTURE		Cs	COASTAL DUNE STABILIZATION (WITH VEGETATION)	
Lv	LEVEL SPREADER		Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)	
Rd	ROCK FILTER		Ds2	DISTURBED AREA STABILIZATION (WITH TEMP SEEDING)	
Re	RETAINING WALL		Ds3	DISTURBED AREA STABILIZATION (WITH PERM SEEDING)	
Rt	RETRO FITTING		Ds4	DISTURBED AREA STABILIZATION (SOODING)	
Sd1	SEDIMENT BARRIER		Du	DUST CONTROL ON DISTURBED AREAS	
Sd2	INLET SEDIMENT TRAP		Fl-Cd	FLOCCULANTS AND COAGULANTS	
Sd3	TEMPORARY SEDIMENT BASIN		Sb	STREAMBANK STABILIZATION (USING VEGETATION)	
Sd4	TEMPORARY SEDIMENT TRAP		Ss	SLOPE STABILIZATION	
Sk	FLOATING SURFACE SKIMMER		Tac	TACKERS AND BINDERS	
Spb	SEEP BERM				

### GRAPHIC SCALE & ORIENTATION

SCALE: 1" = 40'-0"

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1200 Peachtree Street NE, Suite 200, Atlanta, Georgia 30309  
404.888.6000 Fax 404.888.6700 [tdsusa.com](http://tdsusa.com)

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**GEORGIA UNIFORM CODING SYSTEM FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES**

**GEORGIA SOIL AND WATER CONSERVATION COMMISSION**

**STRUCTURAL PRACTICES**

CODE	PRACTICE	MAP SYMBOL	CODE	PRACTICE	MAP SYMBOL
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Ch	CHANNEL STABILIZATION		St	STORMWATER OUTLET PROTECTION	
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**FELLOWSHIP CHRISTIAN SCHOOL**  
MODULAR CLASSROOM RELOCATION  
10965 WOODSTOCK ROAD  
2000 BUILDING  
ROSWELL, GEORGIA 30075

### SITE PLAN - EXISTING MODULAR LOCATION

SHEET TITLE: **C201**

GEORGIA REGISTERED PROFESSIONAL ARCHITECT  
No. 1689  
TERRY LEE BERRY

TVS PROJECT NUMBER: P-24187  
SHEET NUMBER: **C201**

ORIGINAL ISSUE DATE: \_\_\_\_\_

RELEASED FOR CONSTRUCTION

# TVS

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### GRADING LEGEND

- PROPOSED INTERMEDIATE CONTOURS
- PROPOSED INDEX CONTOURS
- SPOT ELEVATION
- BERM
- H.P.
- L.P.
- FLOW DIRECTION
- SCALE
- SLOPE INDICATOR (4:1)
- FINISHED GRADE AT TOP OF WALL
- FINISHED GRADE AT BOTTOM OF WALL
- TOP OF CURB ELEVATION
- TOP OF CURB ELEVATION
- FINISHED FLOOR ELEVATION

### EXCESS CUT

EXCESS CUT MATERIAL: IF QUANTITY OF GRADING MATERIAL IS IN EXCESS OF QUANTITIES NECESSARY TO PROVIDE FINISH GRADE ELEVATIONS INDICATED ON DRAWINGS EXCESS MATERIAL SHALL BE HAULED OFF SITE. HAULING AND DISPOSAL OF EXCESS MATERIAL SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR IS RESPONSIBLE FOR ASSESSING BY ALL LOCAL, STATE, AND FEDERAL REGULATIONS IN DISPOSING OF EXCESS MATERIAL.

### INSUFFICIENT FILL

INSUFFICIENT FILL MATERIAL: IF QUANTITY OF GRADING MATERIAL IS INSUFFICIENT TO PROVIDE FINISHED GRADE ELEVATIONS INDICATED ON DRAWINGS CONTRACTOR SHALL OBTAIN ADDITIONAL FILL MATERIAL OF SPECIFIED QUALITY FROM AN OFF-SITE SOURCE. OBTAINING FILLING, PLACEMENT, COMPACTION AND STABILIZATION OF ADDITIONAL FILL MATERIAL SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR ASSESSING BY ALL LOCAL, STATE, AND FEDERAL REGULATIONS IN OBTAINING FILL MATERIAL.

### STORMWATER NARRATIVE

THE FELLOWSHIP CHRISTIAN SCHOOL MODULAR RELOCATION IS PART OF THE PLANNED STORMWATER MANAGEMENT SYSTEM THAT WAS PREPARED BY PAULSON MITCHELL, INC. IN 2007 AND UPDATED BY SPEED/DIVE LAND PLANNING IN 2020 PER PHASE TWO OF THE PLANNED DEVELOPMENT AND STADIUM IMPROVEMENTS AND AGAIN IN 2023 FOR THE DINING AND CLASSROOM EXPANSION (LDPH-173-000008).

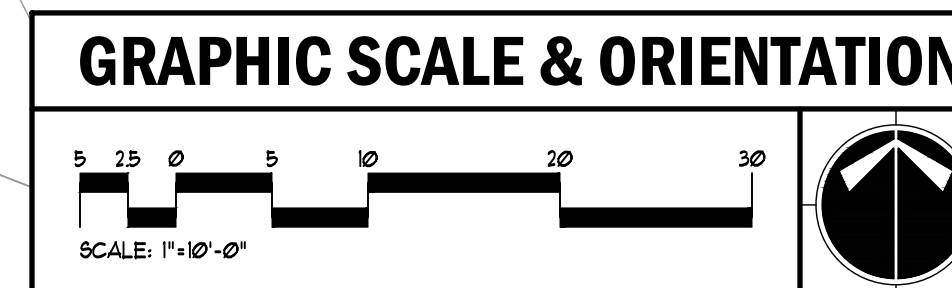
THE SCOPE OF THIS PROJECT INCLUDES THE RELOCATION OF AN EXISTING MODULAR CLASSROOM AND ASSOCIATED STAIRS, RAMP, AND ACCESS BOTH THE PREVIOUS LOCATION AND THE PROPOSED LOCATION OF THE MODULAR BUILDING ARE LOCATED WITHIN THE DRAINAGE BASIN FOR THE EXISTING LET POND.

THE RELOCATION OF THE MODULAR BUILDING ACCOUNTS FOR APPROXIMATELY 4850 SF OF RELOCATED IMPERVIOUS AREA. THE PROPOSED DEVELOPMENT INCLUDES AN ADDITIONAL 4850 SF OF NEW IMPERVIOUS AREA FOR A PROPOSED CONCRETE SIDEWALK TO THE NEW MODULAR LOCATION.

A MEETING WAS HELD WITH ERICA KOHN, THE CITY OF ROSWELL'S SUPPORT SERVICES DIVISION MANAGER FOR THE ENVIRONMENTAL / PUBLIC WORKS DEPARTMENT, TO DISCUSS THE STORMWATER STRATEGY ON NOVEMBER 4TH, 2023. AT THAT TIME THIS DEVELOPMENT IS CREATING LESS THAN 5,000 SF OF NEW IMPERVIOUS AREA, DISTURBS LESS THAN 1 ACRE AND IS INCLUDED WITHIN THE PLANNED DEVELOPMENT IN THE 1000' STORMWATER MASTER PLAN. NO ADDITIONAL STORMWATER DEVICES ARE PROPOSED.

THE INCREASE IN NET IMPERVIOUS AREA AS A RESULT OF THIS PROJECT WAS PLANNED FOR IN THE INITIAL STORMWATER DESIGN PREPARED BY PAULSON MITCHELL, INC. IN 2007. FACILITIES INCLUDING WATER QUALITY SIDING, CHANNEL PROTECTION SIDING, OVERALL DETENTION CAPACITY OF POND, OUTLET CONTROL STRUCTURES, PERCOLATION SPILLWAYS, AND DOWNSTREAM FLOW ANALYSIS WERE ALL ANALYZED BASED ON THE IMPERVIOUS AREA ADDED BY THIS PROJECT. AS SUCH THE PROJECT WILL HAVE NO ADVERSE IMPACTS TO STORMWATER OR DOWNSTREAM FACILITIES.

RELOCATED MODULAR AREA	4,850 SF
NEW IMPERVIOUS AREA	4,850 SF
AVAILABLE FUTURE IMPERVIOUS AREA IN DRAINAGE BASIN:	0.88 AC
TOTAL NEW IMPERVIOUS AREA IN DRAINAGE BASIN:	0.08 AC
REMAINING FUTURE IMPERVIOUS AREA IN DRAINAGE BASIN:	0.81 AC



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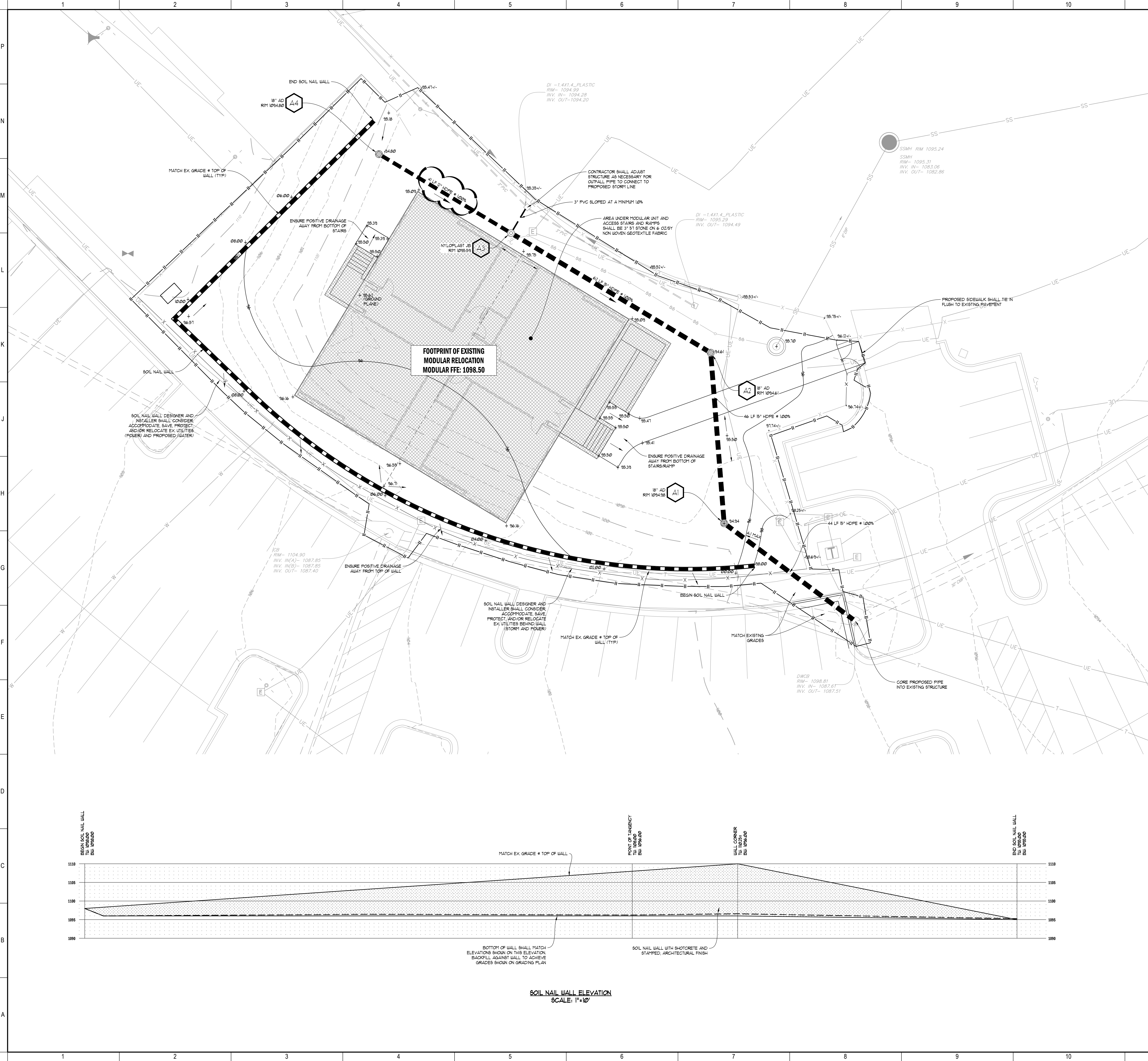
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<h3>FELLOWSHIP CHRISTIAN SCHOOL MODULAR CLASSROOM RELOCATION</h3> <p>10965 WOODSTOCK ROAD 2000 BUILDING ROSWELL, GEORGIA 30075</p>	
<p>5 LDP SRD SUBMITTAL 02/04/2025</p> <p>4 LDP 2ND SUBMITTAL 02/05/2025</p> <p>3 LDP SUBMITTAL 01/08/2025</p> <p>2 DESIGN DEVELOPMENT 11/17/2025</p> <p>1 SCHEMATIC DESIGN 07/25/2025</p> <p>NO. REVISIONS / SUBMISSIONS DATE</p>	<p>SHEET TITLE <b>SITE GRADING &amp; DRAINAGE PLAN</b></p> <p>SEAL          TVS PROJECT NUMBER P-24187        SHEET NUMBER <b>C300</b>        ORIGINAL ISSUE DATE</p>
<p><b>RELEASED FOR CONSTRUCTION</b></p>	



Autodesk Docs: P-24187-FCSD-Design & Classroom Address: P-24187-FCSD-Address\_ARCH\_2024.rvt  
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Attachment: ZNCC-0226-00000 Site Plans (Fellowship Christian School Remaining Wall)

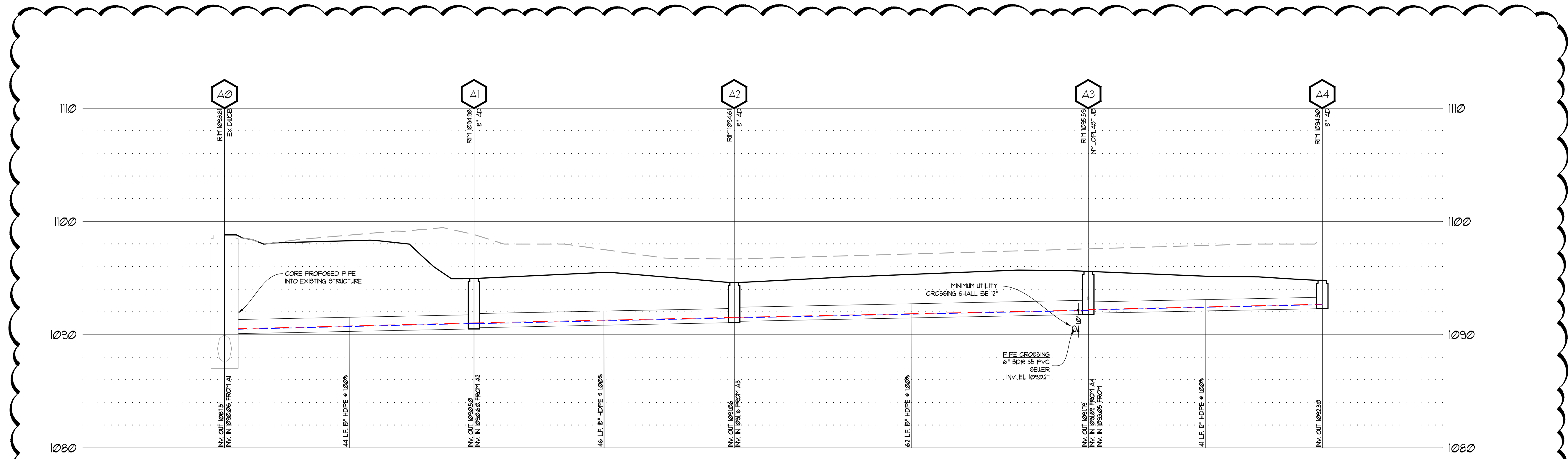
### PIPE PROFILE LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- 25-YEAR HGL
- 100-YEAR HGL
- HU HEADWALL
- FE8 FLARED END SECTION
- SE8 SAFETY END SECTION
- DI DROP INLET (PEDestal TOP)
- JB JUNCTION BOX
- SUCB SINGLE WING CATCH BASIN
- DUCB DOUBLE WING CATCH BASIN
- CB CATCH BASIN
- AD AREA DRAIN (N/LOPELAST OR EQUAL)
- BH BEE HIVE CATCH BASIN
- CI CURB INLET (GA. D.O.T. STD.)
- OC8 OUTLET CONTROL STRUCTURE
- RCP REINFORCED CONCRETE PIPE (CLASS IV)
- DIP DUCTILE IRON PIPE (CLASS 50)
- HDPE HIGH-DENSITY POLYETHYLENE PIPE
- A51-2 ALUMINIZED STEEL TYPE 2
- A51T-8B ALUMINIZED STEEL TYPE 2 SMOOTH BORE (MANNING'S n=0.012)
- PVC POLYVINYL CHLORIDE PIPE (SCHEDULE 40)
- INV. INVERT ELEVATION
- HGL HYDRAULIC GRADE LINE

# TVS

**THOMPSON, VENTULETT, STANBACK & ASSOCIATES, INC., ARCHITECTS**  
 1200 Peachtree Street NE, Suite 200 Atlanta, Georgia 30309  
 404.888.6000 Fax 404.888.8700 tvsdesign.com

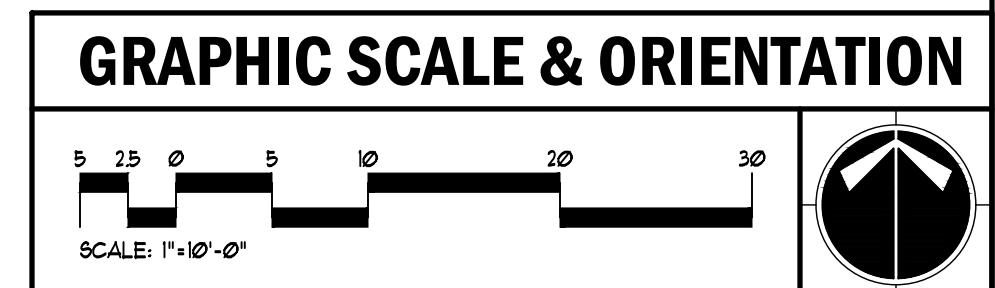
Scales as stated herein are valid on the original drawing, the dimensions of which are 36x48 inches. These scales noted herein are hereby changed by the ratio of the overall sheet dimensions of the print to the corresponding dimensions of the original drawing.  
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**STORM A PROFILE STORM PROFILE**  
**H: 1"=10'; V: 1"=5'**

BREEDLOVE LAND PLANNING, INC. PIPECHART										PROJECT: FELLOWSHIP CHRISTIAN SCHOOL MODULAR CLASSROOM RELOCATION									
YEAR STORM EVENT: 25 YEAR										PROJECT LOCATION: ROSWELL, GA									
Upstream Structure	Downstream Structure	Drainage Area (ac)	c-factor	Inlet Time (min)	Q (cfs)	Total Q (cfs)	Capacity (cfs)	Pipe Size (in)	Slope (%)	n-value	Velocity (ft/s)	Depth (ft)	Inv. Up (ft)	Inv. Dn (ft)	HGL Up (ft)	HGL Dn (ft)			
A4	A3	0.12	0.60	5	0.69	0.69	3.84	12	0.99	0.012	3.28	0.29	1092.30	1091.89	1092.65	1092.18			
A3	A2	0.00	0.00	5	0.12	0.77	7.02	15	1.01	0.012	3.03	0.31	1091.79	1091.16	1092.13	1091.47			
A2	A1	0.07	0.65	5	0.43	1.09	7.00	15	1.00	0.012	3.34	0.37	1091.06	1090.60	1091.47	1090.97			
A1	A0	0.08	0.58	5	0.44	1.42	6.99	15	1.00	0.012	3.91	0.38	1090.50	1090.06	1090.97	1090.44			

BREEDLOVE LAND PLANNING, INC. PIPECHART										PROJECT: FELLOWSHIP CHRISTIAN SCHOOL MODULAR CLASSROOM RELOCATION									
YEAR STORM EVENT: 100 YEAR										PROJECT LOCATION: ROSWELL, GA									
Upstream Structure	Downstream Structure	Drainage Area (ac)	c-factor	Inlet Time (min)	Q (cfs)	Total Q (cfs)	Capacity (cfs)	Pipe Size (in)	Slope (%)	n-value	Velocity (ft/s)	Depth (ft)	Inv. Up (ft)	Inv. Dn (ft)	HGL Up (ft)	HGL Dn (ft)			
A4	A3	0.12	0.60	5	0.87	0.87	3.84	12	0.99	0.012	3.51	0.32	1092.30	1091.89	1092.69	1092.21			
A3	A2	0.00	0.00	5	0.12	0.95	7.02	15	1.01	0.012	3.10	0.36	1091.79	1091.16	1092.17	1091.52			
A2	A1	0.07	0.65	5	0.55	1.38	7.00	15	1.00	0.012	3.48	0.44	1091.06	1090.60	1091.52	1091.04			
A1	A0	0.08	0.58	5	0.56	1.82	6.99	15	1.00	0.012	4.20	0.44	1090.50	1090.06	1091.04	1090.50			



**DO NOT BREAK OR DUPLICATE**

- DO NOT DUPLICATE DRAWINGS WITHOUT PERMISSION.
- READ THE SPECIFICATIONS, THIS SET OF DRAWINGS AND SPECIFICATIONS DEFINE PROJECT SCOPE AND CONTRACT REQUIREMENTS. INDIVIDUAL SHEETS REPARATED FROM THE SET MAY NOT ADEQUATELY REFLECT ALL INFORMATION NEEDED TO SUITABLY COVER CERTAIN ITEMS. DO NOT REPARATE THIS SET OF DRAWINGS INTO INDIVIDUAL SHEETS.

**UTILITY LOCATION NOTES**

- CONTRACTOR SHALL BE RESPONSIBLE TO SECURE THE SERVICES OF A PRIVATE UTILITY LOCATOR FIRM DURING THE ENTIRE COURSE OF CONSTRUCTION. CONTRACTOR SHALL PAY FOR SAID SERVICES.
- CONTRACTOR SHALL IMMEDIATELY REPAIR ALL UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES, AT NO ADDITIONAL COST TO THE OWNER.
- THE UTILITIES SHOWN ARE SCHEMATIC AND FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE DESIGN PROFESSIONAL ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF UTILITIES WITHIN THE LIMITS OF THE WORK. DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR FROM HIS/HER OPERATIONS SHALL BE IMMEDIATELY REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION OF BACKFILL OF ALL UTILITY TRENCHES WITHIN SITE WORK LIMITS. THIS INCLUDES TRENCHES DUG AND BACKFILLED BY LOCAL UTILITIES SUCH AS POWER, GAS, TELEPHONE, ETC. CONTRACTOR SHALL PROVIDE ADDITIONAL BACKFILL AND COMPACTION AS NECESSARY, IF SETTLEMENT OCCURS.

NO.	REVISIONS / SUBMISSIONS	DATE
5	LOP SRD SUBMITTAL	02/04/2025
4	LOP 2ND SUBMITTAL	02/05/2025
3	LOP SUBMITTAL	01/08/2025
2	DESIGN DEVELOPMENT	11/17/2025
1	SCHEMATIC DESIGN	07/29/2025

**CALL BEFORE YOU DIG**

GEORGIA 811  
www.Georgia811.com

GEORGIA LAW MANDATES THAT BEFORE BEGINNING ANY MECHANIZED DIGGING OR EXCAVATION WORK, YOU MUST CONTACT GEORGIA 811 BY USING ENEAREST OR WJLGEORGIA811.COM OR BY CALLING 811 OR 1-800-282-7411 AT LEAST 48 HOURS BUT NO MORE THAN 10 WORKING DAYS IN ADVANCE TO HAVE UTILITY LINES MARKED.

**FELLOWSHIP CHRISTIAN SCHOOL MODULAR CLASSROOM RELOCATION**  
 10965 WOODSTOCK ROAD  
 2000 BUILDING  
 ROSWELL, GEORGIA 30075

**STORM PIPE PROFILES**

SEAL:

TVS PROJECT NUMBER: P-24187

SHEET NUMBER: C310

ORIGINAL ISSUE DATE: \_\_\_\_\_

**RELEASED FOR CONSTRUCTION**

Maintenance and Inspection Procedures

The following are the maintenance and inspection procedures that shall be used to maintain erosion and sediment controls:

Non-Storm Water Discharges

All non-storm water discharges shall be directed to the sediment basin prior to discharge from the site.

Inventory for Pollution Prevention Plan

The following materials and substances are expected to be present on-site during construction activities:

Spill Prevention

The following are the material management practices that shall be used to reduce the risk of spills or other accidental exposure of materials and substances to storm water runoff.

Good Housekeeping

The following good housekeeping practices shall be followed on-site during the construction project:

Product Specific Practices

The following are the product specific practices that shall be followed for products stored on-site:

Paints/Finishes/Solvents

Fertilizer/Ferilicides

Spill Control Practices

In addition to the good housekeeping and material management practices discussed in the previous sections of this plan, the following are the spill control practices that shall be followed for spill prevention and cleanup:

Local, State and manufacturer's recommended methods for spill cleanup will be clearly posted and procedures will be made available to site personnel.

Spill prevention practices and procedures will be reviewed after a spill and adjusted as necessary to prevent future spills.

The Contractor shall notify the licensed professional who prepared this plan if more than 1320 gallons of petroleum is stored onsite.

Controls

Erosion and Sedimentation Controls

Stabilization Practices

Mulching - Contractor shall apply dry straw or hay and/or wood chip mulch to disturbed areas at a depth of two to three inches.

Polycrylamide (PAM) - Contractor shall utilize an anionic polycrylamide as a temporary soil binding agent to reduce soil erosion.

Temporary Stabilization - Topsoil stockpiles and disturbed areas of the site, where construction activities have ceased for at least fourteen (14) calendar days, shall be stabilized with a season appropriate temporary seeding and/or mulch.

Permanent Stabilization - Disturbed areas of the site where finished grades have been achieved, and construction activity has ceased for at least fourteen (14) calendar days, shall be stabilized with vegetation plant planting plan.

Protection Practices

Stream Buffers (State Water Buffers) shall be appropriately flagged and protected. Solid buffers shall be identified with signage during the construction period.

Controls - Erosion & Sedimentation Controls cont'd

Structural Practices

Temporary Construction Entrance - A stabilized, stone aggregate construction entrance shall be constructed, as per the detail set forth in the Manual for Erosion and Sediment Control in Georgia, Latest Edition.

Silt Barriers - Silt fence - Temporary diversion barriers shall be installed as per the plan(s), detail(s), and the Manual for Erosion and Sediment Control in Georgia, Latest Edition.

Storm Drain Outlet Protection - Headwall outlets shall be protected by storm drain outlet protection. The storm drain outlet protection shall be constructed as per the plan(s), detail(s), and the Manual for Erosion and Sediment Control in Georgia, Latest Edition.

Wetland Protection Practices

Wetlands, if present on site, are subject to U.S. Army Corps of Engineers (U.S.A.C.E.) regulations and restrictions and shall be clearly identified by flagging, fencing, and/or signage at a maximum of fifty (50) foot intervals.

ALL EROSION AND SEDIMENTATION CONTROLS AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION OR GRADING.

NO WATERS OF THE STATE EXIST ON OR WITHIN 200' OF THE PROJECT SITE. NO WETLANDS EXIST ON OR WITHIN 200' OF THE PROJECT SITE.

Certification of Compliance with Federal, State, and Local Regulations

Storm Water Controls

Storm Water Management

Storm Water Runoff Quality Controls

The contractor shall conform to the phasing, sequencing, installation, inspection, maintenance, and stabilization requirements of the "Erosion, Sedimentation, and Pollution Control Plan."

Other Controls

Offsite Vehicle Tracking: A stabilized construction exit has been provided to help reduce vehicle tracking of sediment.

Sealing of Paved Areas: Provide and maintain a mechanical street sweeper. All asphalt areas shall be swept at a minimum of once every 7 calendar days.

Recycling and Refuse Collection Centers (Waste Materials): The Contractor shall provide appropriate refuse collection centers, which allow for glass, paper, and plastic separation.

Hazardous Waste: All hazardous waste materials will be disposed of in the manner specified by local, state, and/or federal regulations and by the manufacturer of such products.

Sanitary Waste: A minimum of one portable sanitary unit will be provided for every ten (10) workers on the site.

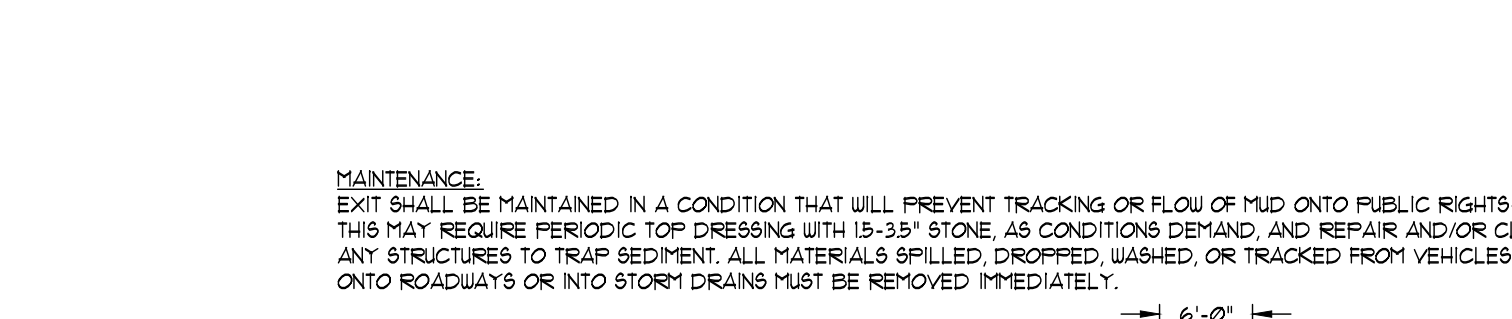
Sanitary waste units will be located in and area where the likelihood of the unit contributing to stormwater discharge is negligible.

Sanitary sewer will be provided by Municipal Authority Septic System at the completion of this project.

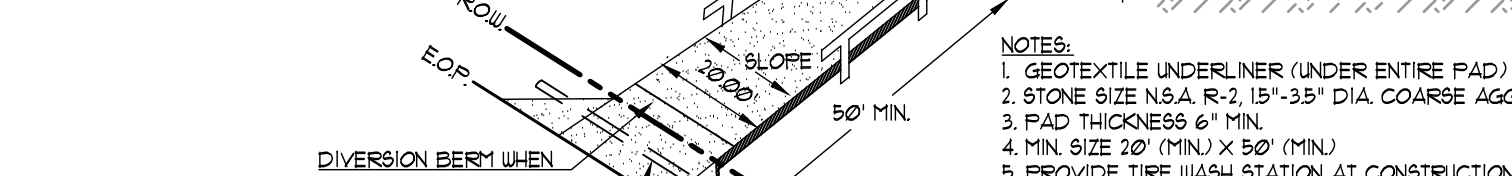
Equipment Maintenance Area: Equipment maintenance areas shall be clearly identified with signage.

Equipment Maintenance Area Sign shall be weatherproof and have a minimum size of 36" x 36".

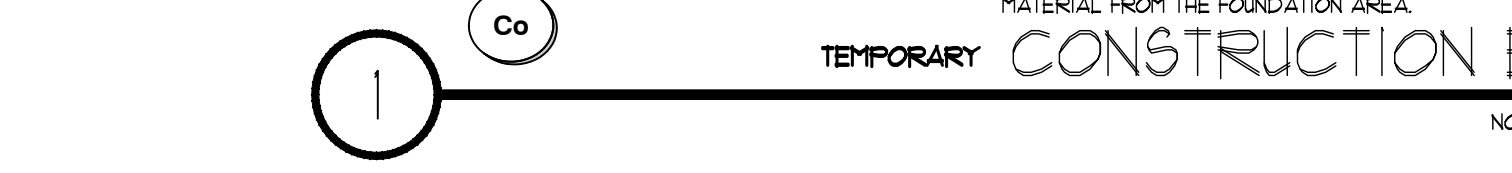
TEMPORARY CONSTRUCTION EXIT



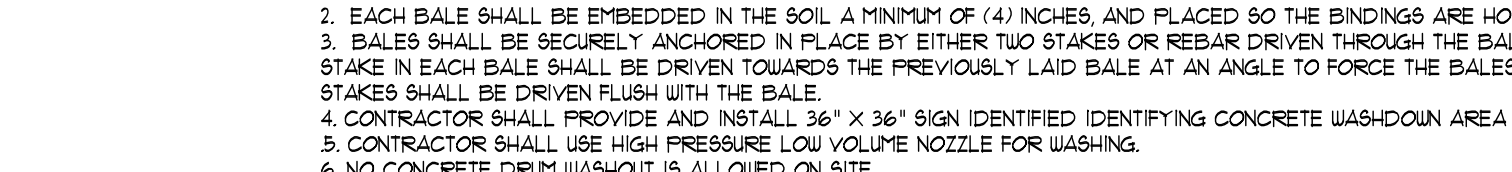
NOTES: 1. GEOTEXTILE UNDERLAYER (BENEATH DRIVE PAD) 2. STONE SIZE N&A #10 - 1 1/2\"/>



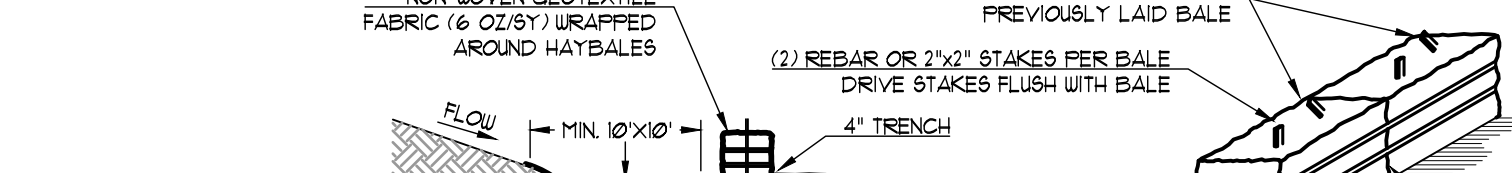
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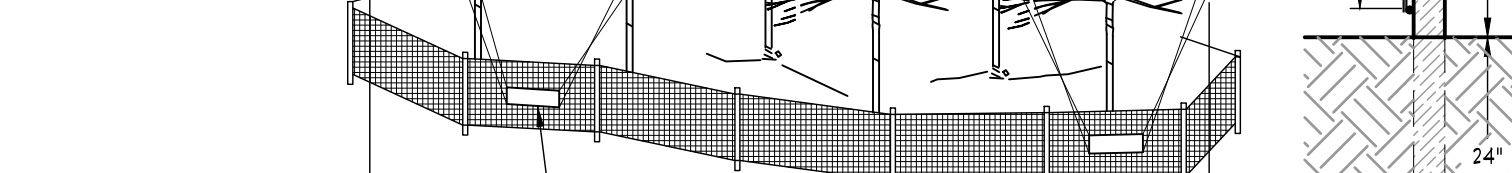
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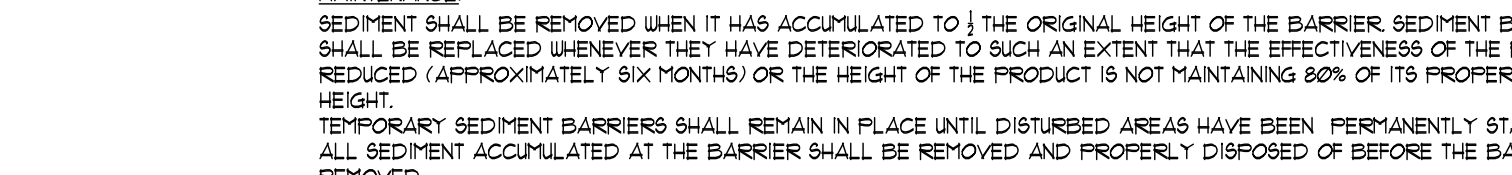
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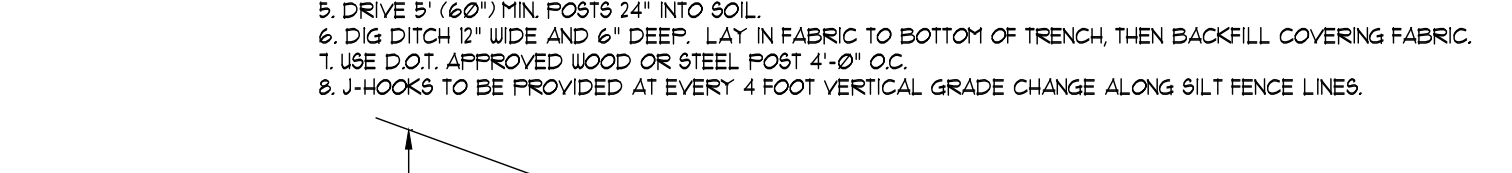
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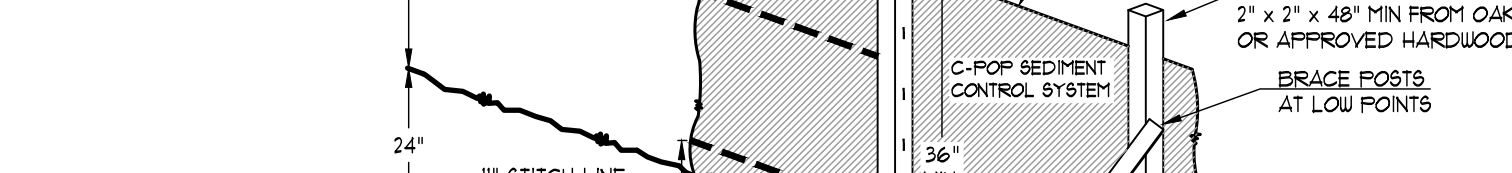
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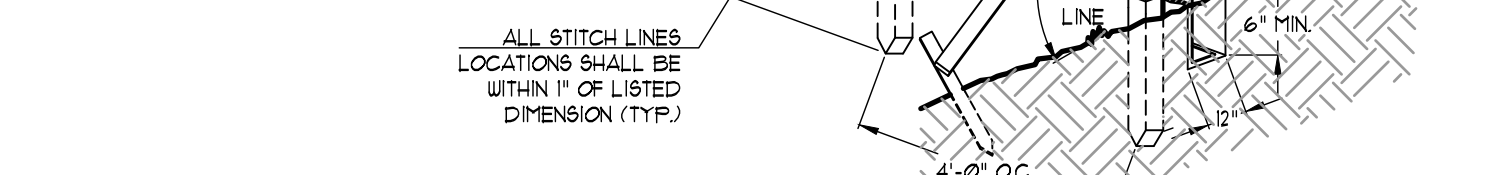
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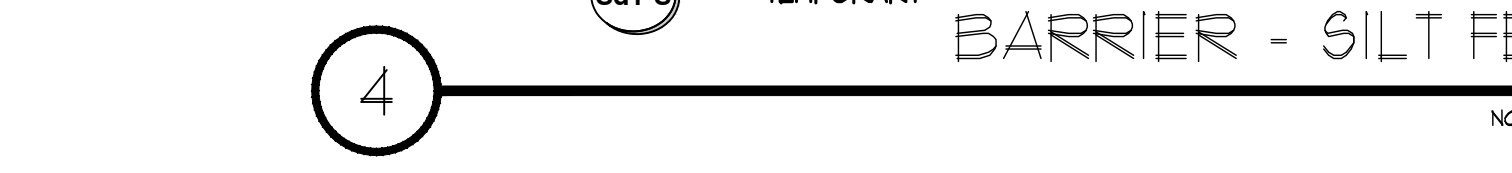
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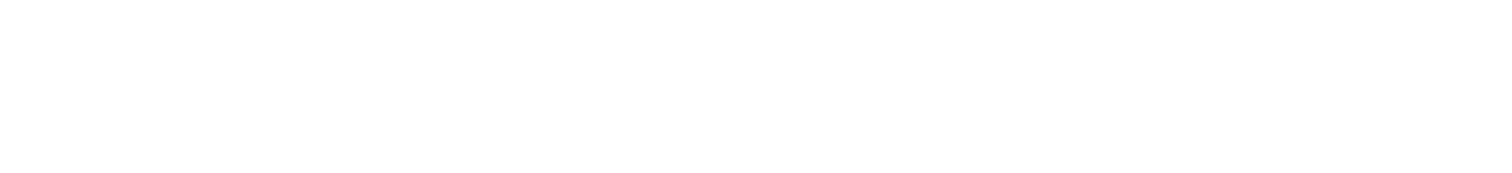
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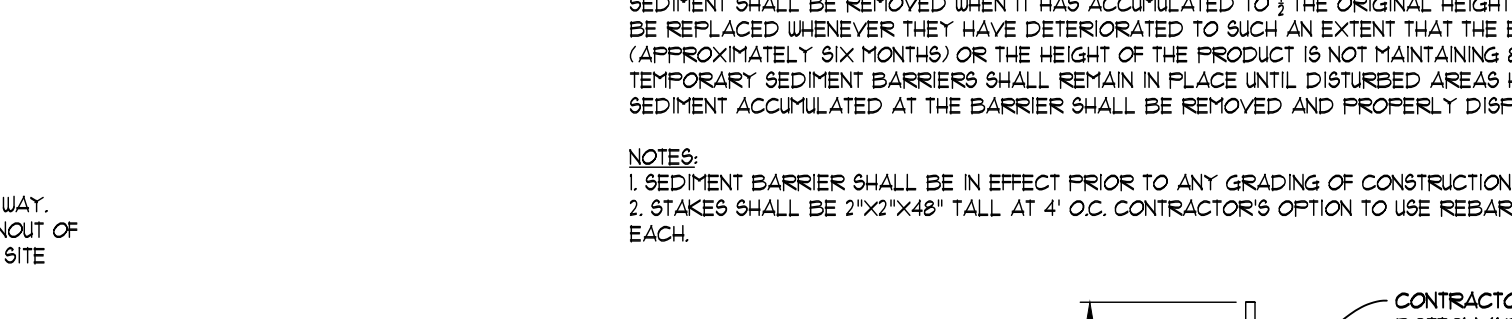
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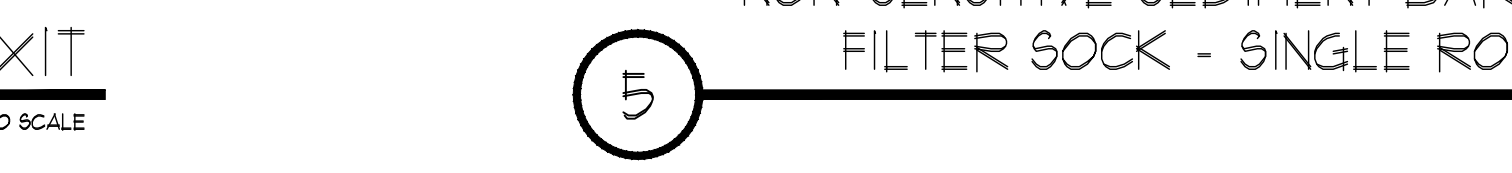
TEMPORARY CONCRETE WASHDOWN AREA



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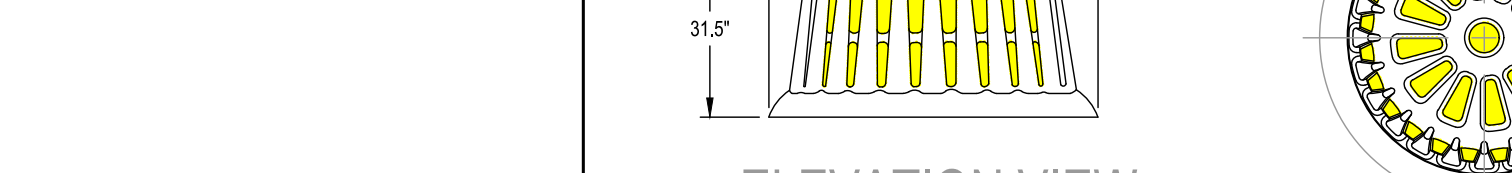
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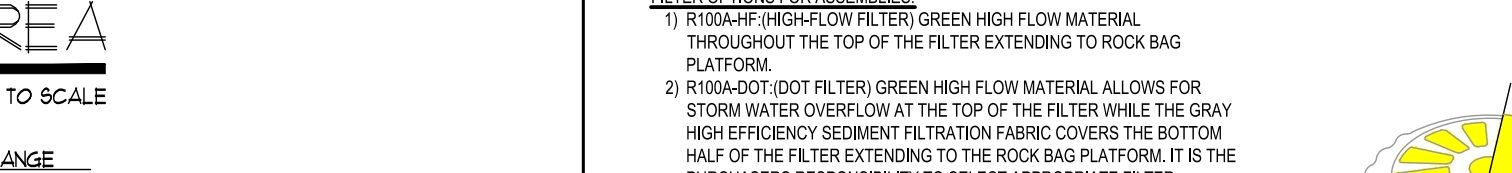
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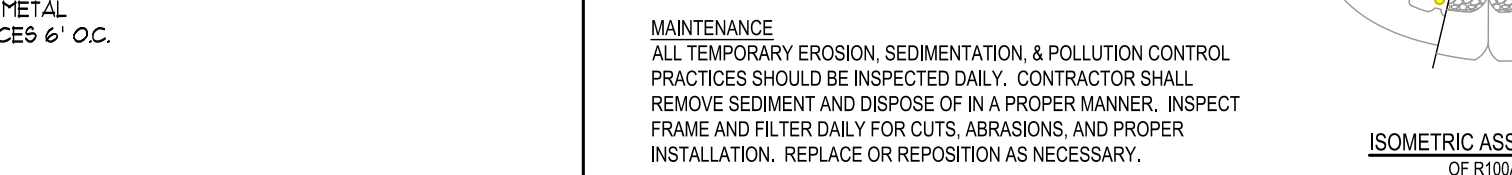
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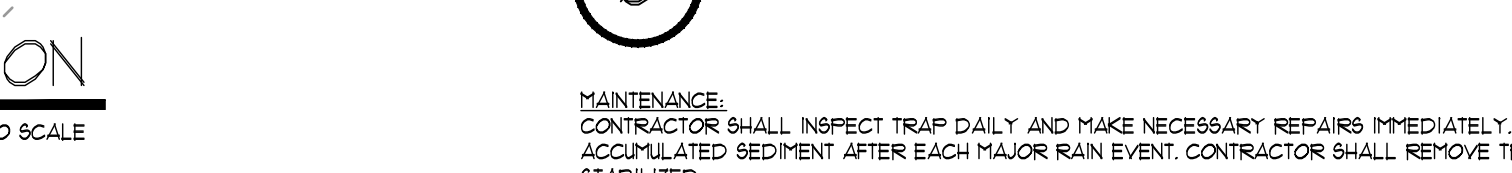
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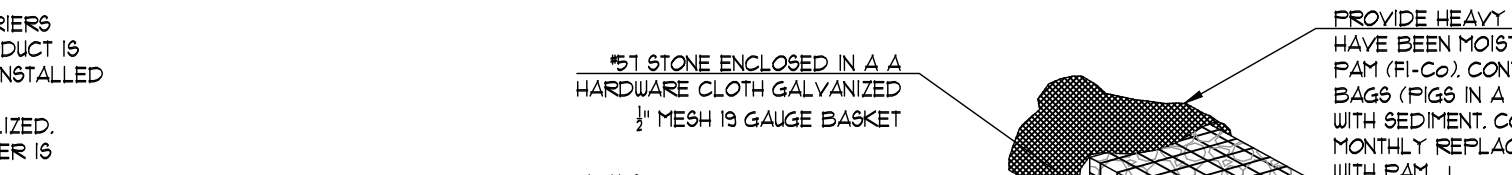
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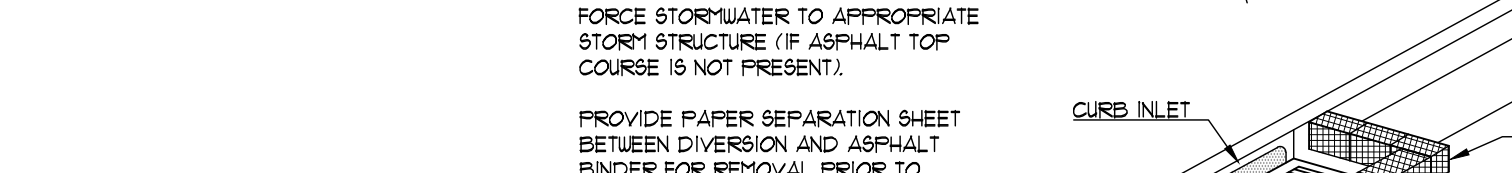
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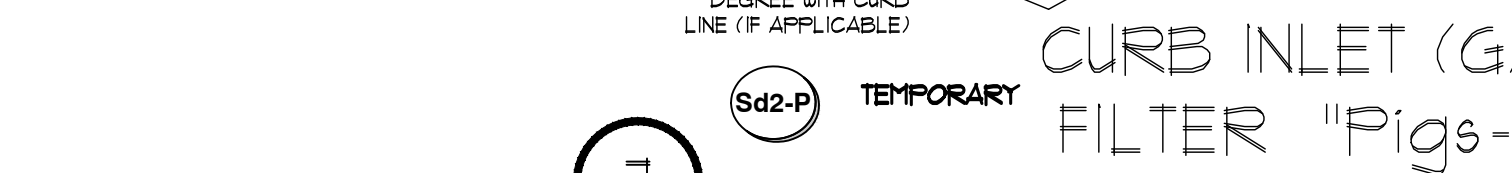
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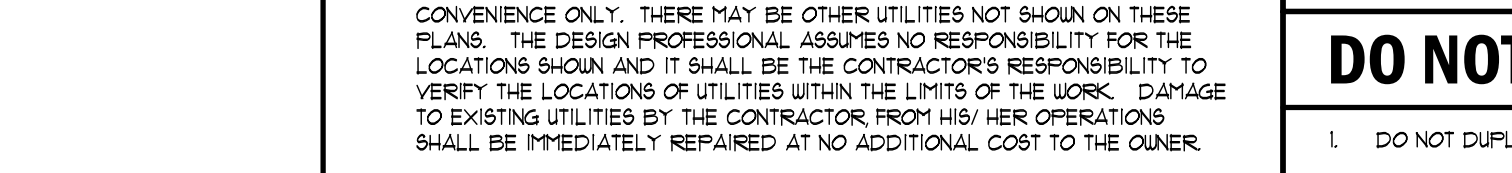
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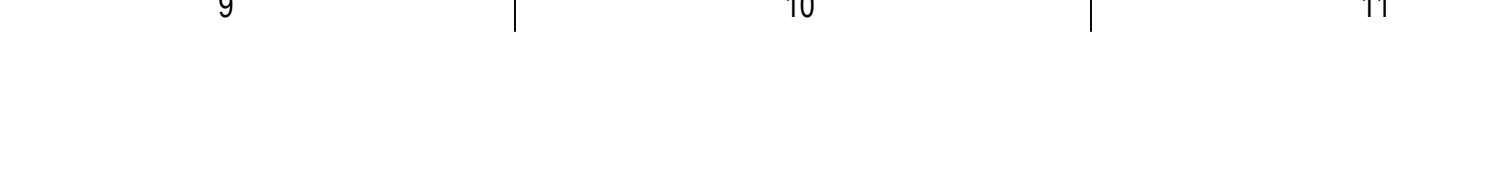
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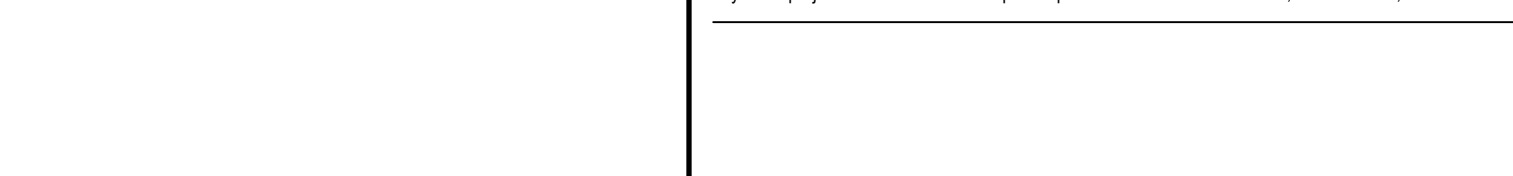
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NON-SENSITIVE SEDIMENT BARRIER COMPOST FILTER SOCK - SINGLE ROW APPLICATION



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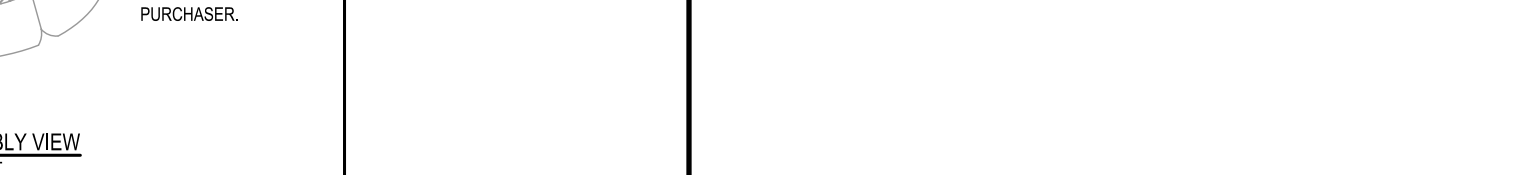
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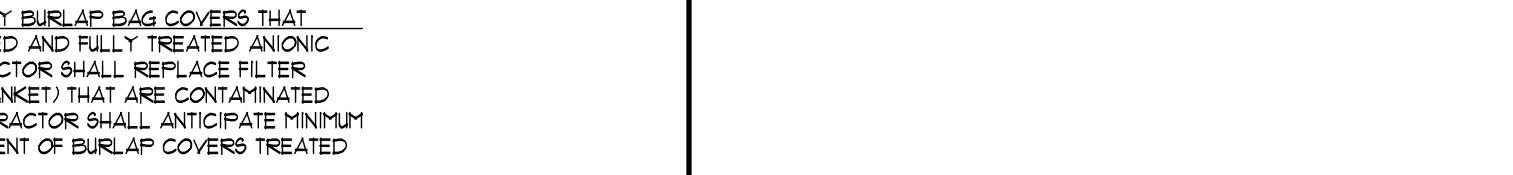
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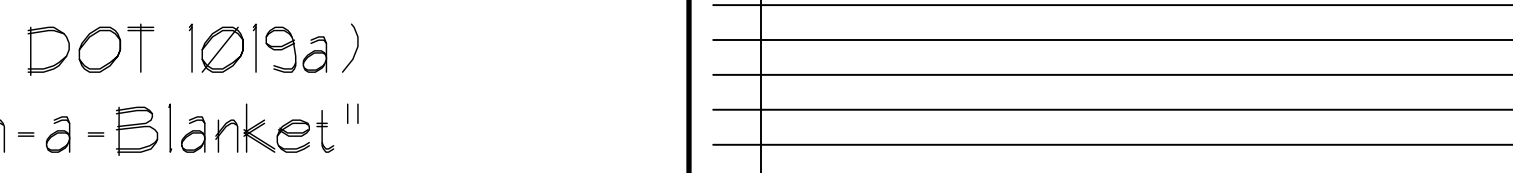
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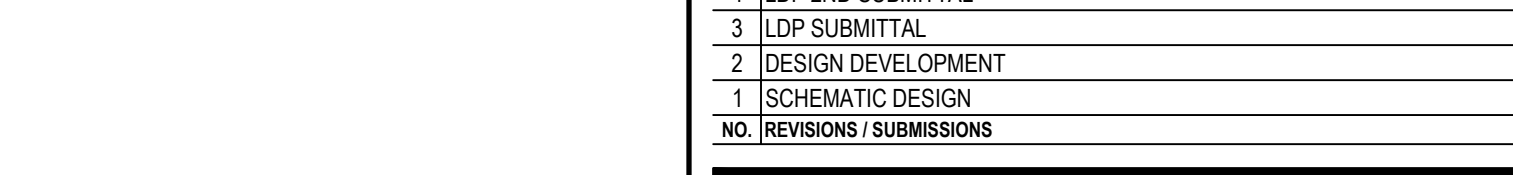
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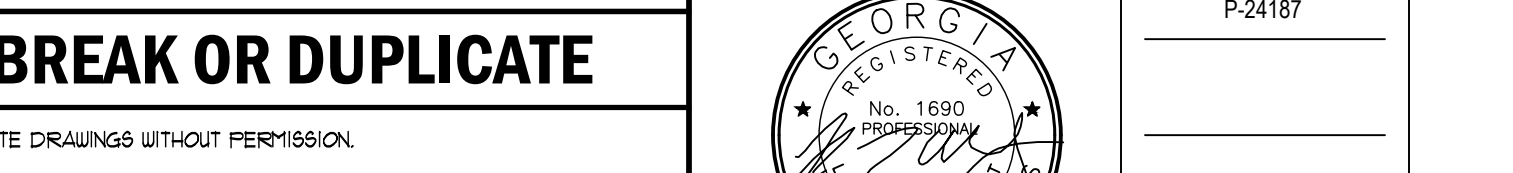
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THOMPSON, VENTULETT, STANBACK & ASSOCIATES, INC. ARCHITECTS

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RELEASED FOR CONSTRUCTION

### EROSION CONTROL GENERAL NOTES

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4. ALL SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY GRADING.
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11. MAXIMUM CUT OR FILL SLOPE IS (3:1) V HORIZONTAL TO 1 VERTICAL.
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### GEORGIA UNIFORM CODING SYSTEM FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES

#### GEORGIA SOIL AND WATER CONSERVATION COMMISSION

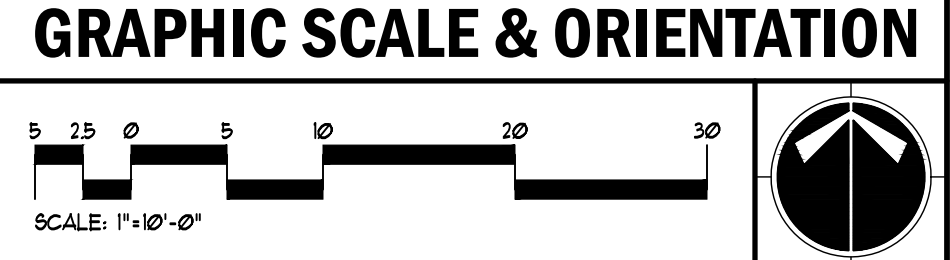
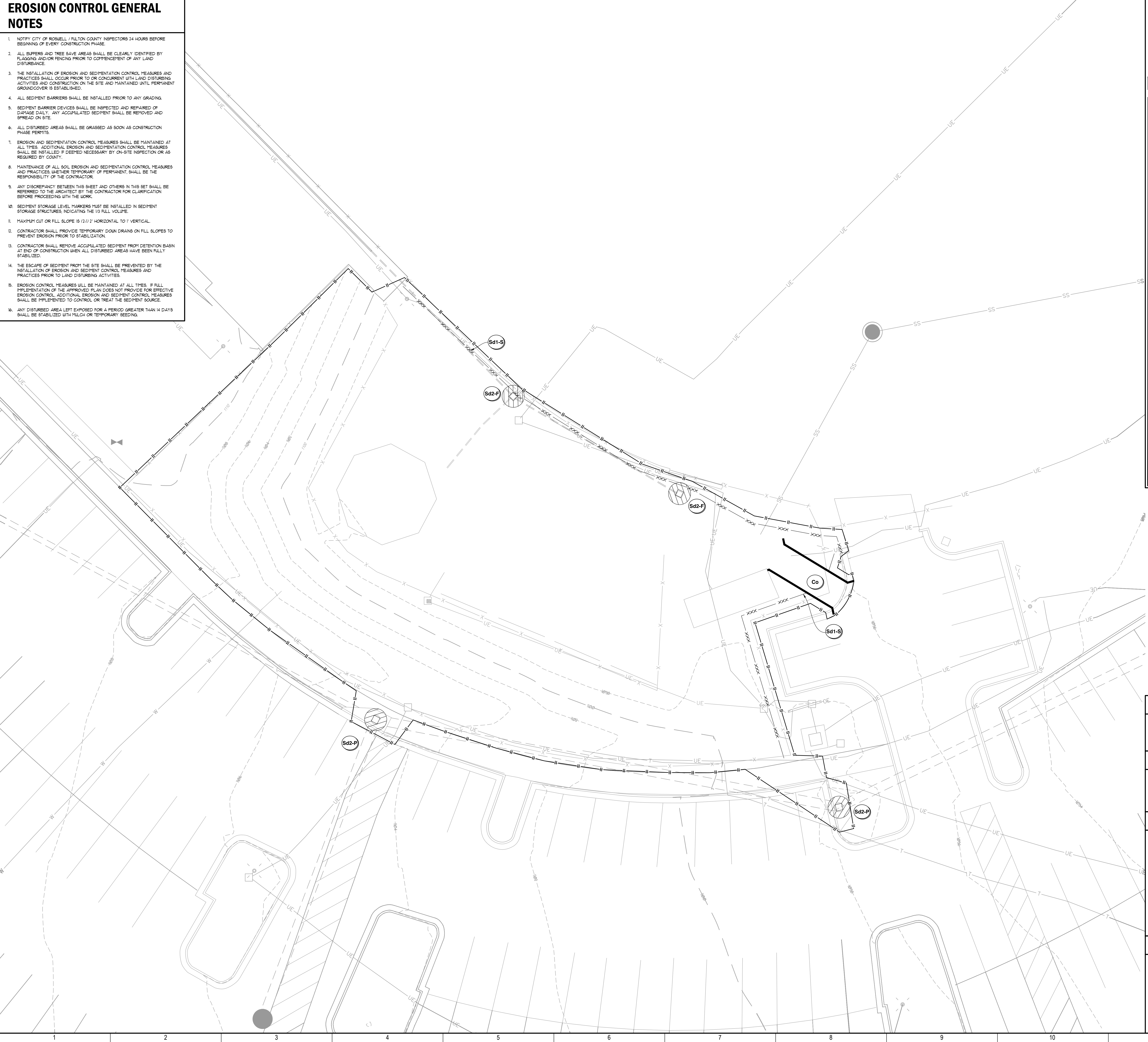
#### STRUCTURAL PRACTICES

CODE	PRACTICE	MAP SYMBOL	CODE	PRACTICE	MAP SYMBOL
Cd	CHECKDAM		Sr	TEMPORARY STREAM CROSSING	
Ch	CHANNEL STABILIZATION		St	STORMWATER OUTLET PROTECTION	
Co	CONSTRUCTION EXIT		Su	SURFACE ROUGHENING	
Cr	CONSTRUCTION ROAD STABILIZATION		Tc	TURBIDITY CURTAIN	
Dc	STREAM DIVERSION CHANNEL		Tp	TOPSOILING	
Di	DIVERSION		Tr	TREE PROTECTION	
Dn1	TEMPORARY DOWNDRAIN STRUCTURE		Wt	VEGETATED WATERWAY OR STORMWATER CONVEYANCE CHANNEL	
Dn2	PERMANENT DOWNDRAIN STRUCTURE		<b>VEGETATIVE PRACTICES</b>		
Fr	FILTER RING		<b>CODE</b>	<b>PRACTICE</b>	<b>MAP SYMBOL</b>
Ga	GABION		Bf	BUFFER ZONE	
Gr	GRADE STABILIZATION STRUCTURE		Cs	COASTAL DUNE STABILIZATION (WITH VEGETATION)	
Lv	LEVEL SPREADER		Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)	
Rd	ROCK FILTER DAM		Ds2	DISTURBED AREA STABILIZATION (WITH TEMP SEEDING)	
Re	RETAINING WALL		Ds3	DISTURBED AREA STABILIZATION (WITH PERM SEEDING)	
Rt	RETRO FITTING		Ds4	DISTURBED AREA STABILIZATION (SEEDING)	
Sd1	SEDIMENT BARRIER		Du	DUST CONTROL ON DISTURBED AREAS	
Sd2	INLET SEDIMENT TRAP		Fl-Cd	FLOCCULANTS AND COAGULANTS	
Sd3	TEMPORARY SEDIMENT BASIN		Sb	STREAMBANK STABILIZATION (USING PERM. VEGETATION)	
Sd4	TEMPORARY SEDIMENT TRAP		Ss	SLOPE STABILIZATION	
Sk	FLOATING SURFACE SKIMMER		Tac	TACKLERS AND BRIDGES	
Spb	SEEP BERM				

# TVS

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5	LOP 3RD SUBMITTAL	02/24/2025
4	LOP 2ND SUBMITTAL	02/05/2025
3	LOP SUBMITTAL	01/08/2025
2	DESIGN DEVELOPMENT	11/17/2024
1	SCHEMATIC DESIGN	07/25/2024
	NO. REVISIONS / SUBMISSIONS	DATE

**FELLOWSHIP CHRISTIAN SCHOOL**  
 MODULAR CLASSROOM RELOCATION  
 10965 WOODSTOCK ROAD  
 2000 BUILDING  
 ROSWELL, GEORGIA 30075

SHEET TITLE: **INITIAL EROSION CONTROL PLAN**

SEAL:

TVS PROJECT NUMBER: P-24187

SHEET NUMBER: **C410**

ORIGINAL ISSUE DATE: \_\_\_\_\_

**RELEASED FOR CONSTRUCTION**

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#### GEORGIA SOIL AND WATER CONSERVATION COMMISSION

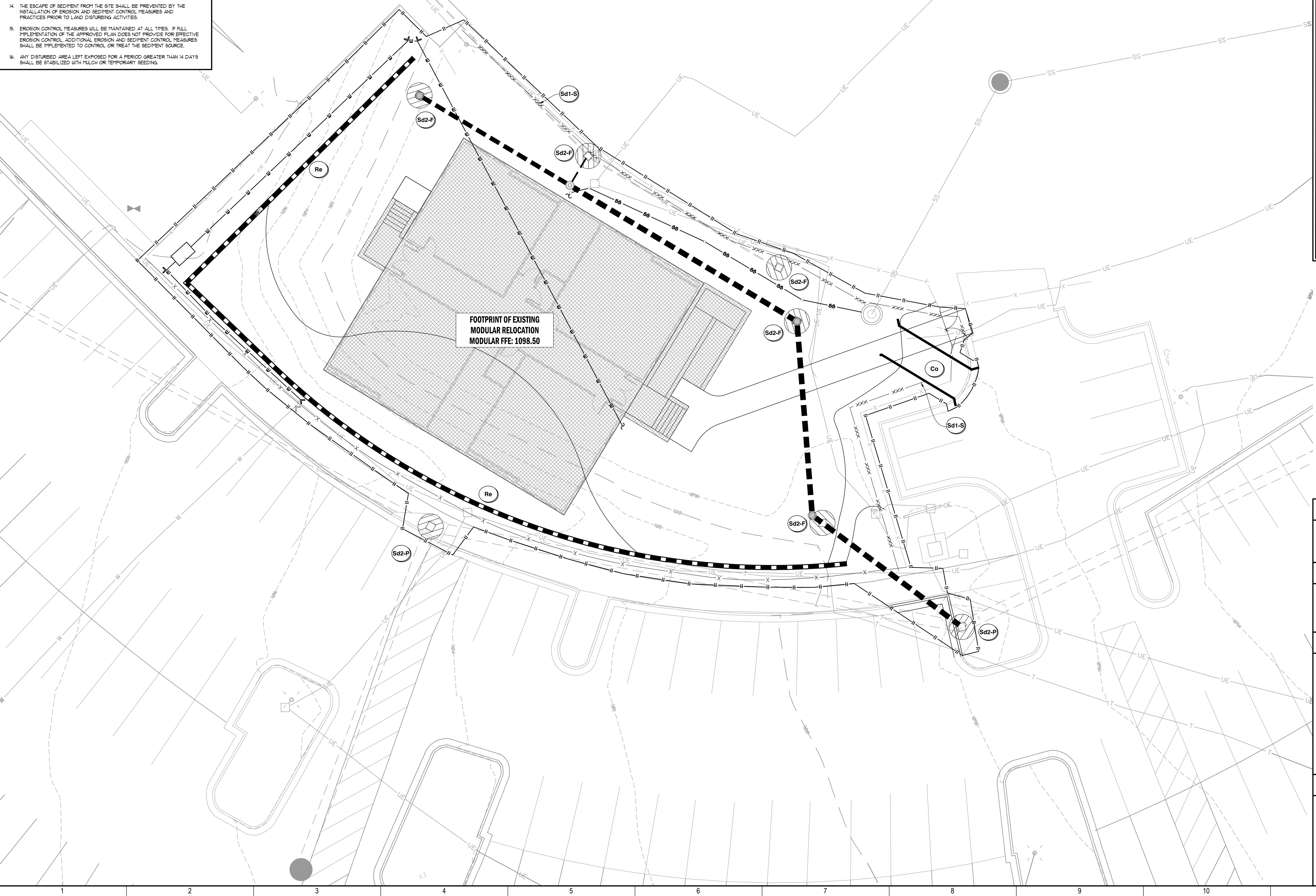
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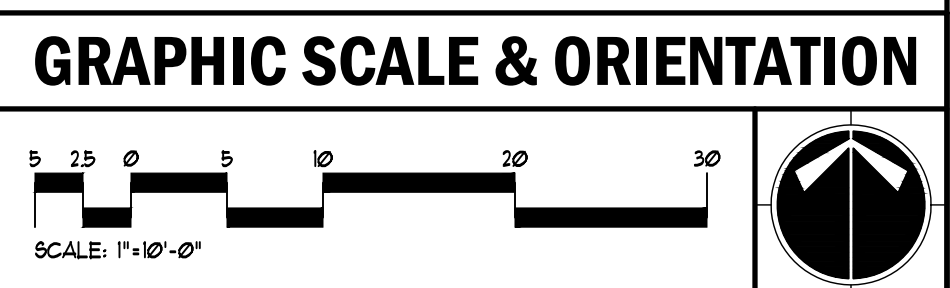
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**FELLOWSHIP CHRISTIAN SCHOOL**  
 MODULAR CLASSROOM RELOCATION  
 10965 WOODSTOCK ROAD  
 2000 BUILDING  
 ROSWELL, GEORGIA 30075

SHEET TITLE: **INTERMEDIATE EROSION CONTROL PLAN**

SEAL:

TVS PROJECT NUMBER: P-24187

SHEET NUMBER: **C420**

ORIGINAL ISSUE DATE: \_\_\_\_\_

**RELEASED FOR CONSTRUCTION**

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9. ANY DISCREPANCY BETWEEN THIS SHEET AND OTHERS IN THIS SET SHALL BE REFERRED TO THE ARCHITECT BY THE CONTRACTOR FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
10. SEDIMENT STORAGE LEVEL MARKERS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE 1/3 FULL VOLUME.
11. MAXIMUM CUT OR FILL SLOPE IS (2) 1/2 HORIZONTAL TO 1 VERTICAL.
12. CONTRACTOR SHALL PROVIDE TEMPORARY DRAIN DRAINS ON FILL SLOPES TO PREVENT EROSION PRIOR TO STABILIZATION.
13. CONTRACTOR SHALL REMOVE ACCUMULATED SEDIMENT FROM DETENTION BASIN AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN FULLY STABILIZED.
14. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
15. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
16. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

### PERMANENT STABILIZATION LEGEND

<b>Ds1</b>	MULCH 3" OF DOUBLE GROUND HARDWOOD UNLESS OTHERWISE SPECIFIED	
<b>Ds4</b>	500 - BLUE TAG CERTIFIED TRWAY 419 BERMUDA 500	

SHRUBS					
BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING	REMARKS
ILICLIUM FLORIDANUM 'AZTEC FIRE'	AZTEC FIRE ANISE	10	#3 GAL	48" O.C.	CONT., FULL DENSE, PEST FREE
MYRICA CERIFERA 'NANA'	DWARF WAX MYRTLE	5	#3 GAL	60" O.C.	CONT., FULL DENSE, PEST FREE

GROUNDCOVERS					
BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING	REMARKS
LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LIRIOPE	474	#1 GAL	24" O.C.	CONT., FULL DENSE, PEST FREE

### GEORGIA UNIFORM CODING SYSTEM FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES

#### GEORGIA SOIL AND WATER CONSERVATION COMMISSION

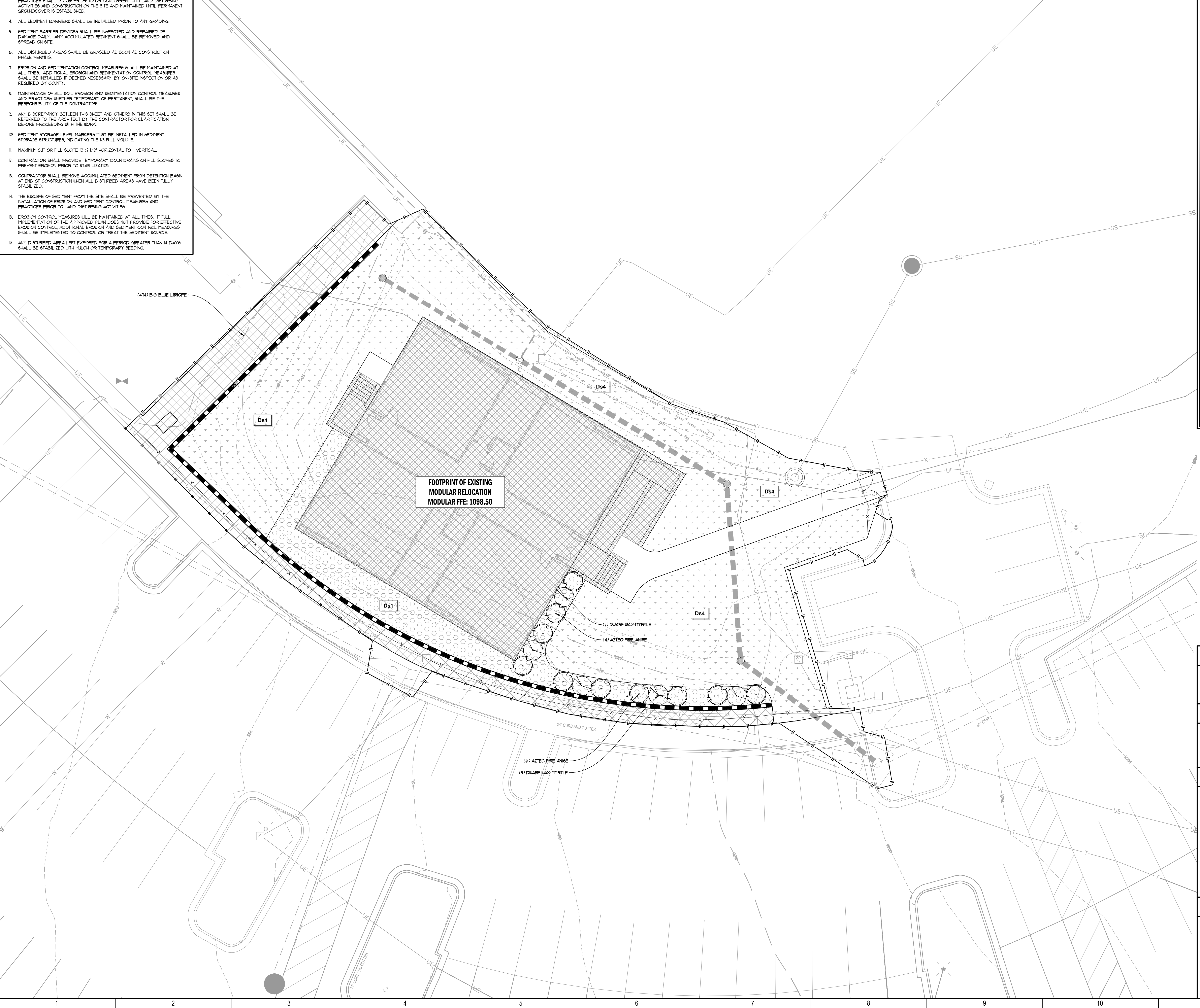
#### STRUCTURAL PRACTICES

CODE	PRACTICE	MAP SYMBOL	CODE	PRACTICE	MAP SYMBOL
<b>Cd</b>	CHECKDAM		<b>Sr</b>	TEMPORARY STREAM CROSSING	
<b>Ch</b>	CHANNEL STABILIZATION		<b>St</b>	STORMWATER OUTLET PROTECTION	
<b>Co</b>	CONSTRUCTION EXIT		<b>Su</b>	SURFACE ROUGHENING	
<b>Cr</b>	CONSTRUCTION ROAD STABILIZATION		<b>Tc</b>	TURBIDITY CURTAIN	
<b>Dc</b>	STREAM DIVERSION CHANNEL		<b>Tp</b>	TOPSOILING	
<b>Di</b>	DIVERSION		<b>Tr</b>	TREE PROTECTION	
<b>Dn1</b>	TEMPORARY DOWNDRAIN STRUCTURE		<b>Wt</b>	VEGETATED WATERWAY OR STORMWATER CONVEYANCE CHANNEL	
<b>Dn2</b>	PERMANENT DOWNDRAIN STRUCTURE		<b>VEGETATIVE PRACTICES</b>		
<b>Fr</b>	FILTER RING		<b>CODE</b>	<b>PRACTICE</b>	<b>MAP SYMBOL</b>
<b>Ga</b>	GABION		<b>Bf</b>	BUFFER ZONE	
<b>Gr</b>	GRADE STABILIZATION STRUCTURE		<b>Cs</b>	COASTAL DUNE STABILIZATION (WITH VEGETATION)	
<b>Lv</b>	LEVEL SPREADER		<b>Ds1</b>	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)	
<b>Rd</b>	ROCK FILTER DAM		<b>Ds2</b>	DISTURBED AREA STABILIZATION (WITH TEMP SEEDING)	
<b>Re</b>	RETAINING WALL		<b>Ds3</b>	DISTURBED AREA STABILIZATION (WITH PERM SEEDING)	
<b>Rt</b>	RETRO FITTING		<b>Ds4</b>	DISTURBED AREA STABILIZATION (SOODING)	
<b>Sd1</b>	SEDIMENT BARRIER		<b>Du</b>	DUST CONTROL ON DISTURBED AREAS	
<b>Sd2</b>	INLET SEDIMENT TRAP		<b>Fl-Cd</b>	FLOCCULANTS AND COAGULANTS	
<b>Sd3</b>	TEMPORARY SEDIMENT BASIN		<b>Sb</b>	STREAMBANK STABILIZATION (USING PERM VEGETATION)	
<b>Sd4</b>	TEMPORARY SEDIMENT TRAP		<b>Ss</b>	SLOPE STABILIZATION	
<b>Sk</b>	FLOATING SURFACE SKIMMER		<b>Tac</b>	TACKERS AND BRIDGES	
<b>Spb</b>	SEEP BERM				

# TVS

THOMPSON, VENTULETT, STANBACK & ASSOCIATES, INC., ARCHITECTS  
 1000 Peachtree Street NE, Suite 200 Atlanta, Georgia 30309  
 404.888.6600 Fax 404.888.6700 tvsdesign.com

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### GRAPHIC SCALE & ORIENTATION

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### UTILITY LOCATION NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE TO SECURE THE SERVICES OF A PRIVATE UTILITY LOCATOR FIRM DURING THE ENTIRE COURSE OF CONSTRUCTION. CONTRACTOR SHALL PAY FOR SAID SERVICES.
2. CONTRACTOR SHALL IMMEDIATELY REPAIR ALL UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER.
3. THE UTILITIES SHOWN ARE SCHEMATIC AND FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE DESIGN PROFESSIONAL ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF UTILITIES WITHIN THE LIMITS OF THE WORK. DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR FROM ANY WORK OPERATIONS SHALL BE IMMEDIATELY REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION OF BACKFILL OF ALL UTILITY TRENCHES WITHIN SITE WORK LIMITS. THIS INCLUDES TRENCHES DUG AND BACKFILLED BY LOCAL UTILITIES SUCH AS POWER, GAS, TELEPHONE, ETC. CONTRACTOR SHALL PROVIDE ADDITIONAL BACKFILL AND COMPACTION AS NECESSARY IF SETTLEMENT OCCURS.

### CALL BEFORE YOU DIG

# GEORGIA811

www.Georgia811.com

GEORGIA LAW MANDATES THAT BEFORE BEGINNING ANY MECHANIZED DIGGING OR EXCAVATION WORK YOU MUST CONTACT GEORGIA811 BY USING E911FAST OR WALKERSONLINE.COM OR BY CALLING 811 OR 1-800-282-7411 AT LEAST 48 HOURS BEFORE ANY WORKING DAYS IN ADVANCE TO HAVE UTILITY LINES MARKED.

5	LOP 3RD SUBMITTAL	02/04/2025
4	LOP 2ND SUBMITTAL	02/05/2025
3	LOP SUBMITTAL	01/08/2025
2	DESIGN DEVELOPMENT	11/17/2024
1	SCHEMATIC DESIGN	07/25/2024
NO.	REVISIONS / SUBMISSIONS	DATE

### FELLOWSHIP CHRISTIAN SCHOOL MODULAR CLASSROOM RELOCATION

10965 WOODSTOCK ROAD  
 2000 BUILDING  
 ROSWELL, GEORGIA 30075

SHEET TITLE  
**FINAL EROSION CONTROL PLAN & PLANTING PLAN**

SEAL:

TVS PROJECT NUMBER: P-24187  
 SHEET NUMBER: C430

ORIGINAL ISSUE DATE: \_\_\_\_\_

**RELEASED FOR CONSTRUCTION**



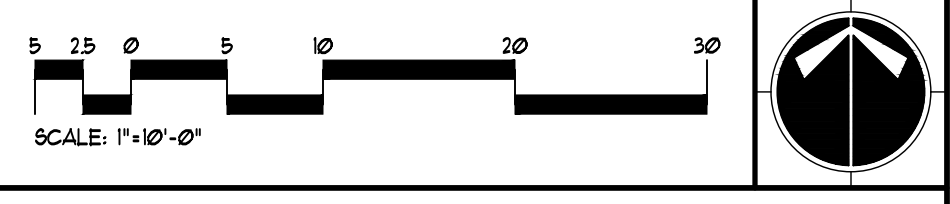
### GENERAL UTILITY NOTES

- NOTIFY ALL UTILITY PROVIDERS 24-HOURS PRIOR TO THE BEGINNING OF UTILITY DEMOLITION AND REMOVAL OR ADJUSTMENTS.
- ALL WORK AND MATERIALS SHALL CONFORM TO CURRENT CITY OF ROSWELL / FULTON COUNTY STANDARDS.
- CONTRACTOR SHALL SCHEDULE AN INSPECTION WITH CITY OF ROSWELL / FULTON COUNTY INSPECTORS BEFORE ANY WORK IS HIDDEN FROM VIEW.
- CONTRACTOR SHALL CALL THE UTILITIES PROTECTION CENTER (CALL BEFORE YOU DIG) TELEPHONE NUMBER 1-800-282-7411 BEFORE INITIATING EXCAVATION ACTIVITIES.
- CONCRETE THRUST BLOCKING SHALL BE PLACED AT ALL BENDS, TEES, AND FITTINGS.
- NO FENCES, STRUCTURES, TREES, OR OTHER OBSTRUCTIONS ARE ALLOWED IN SANITARY SEWER EASEMENTS.
- WATER LINES SHALL HAVE A MINIMUM COVER OF 4' (FEET) FROM FINISHED GRADE.
- WATER METERS SHALL BE INSTALLED IN CITY OF ROSWELL / FULTON COUNTY RIGHT-OF-WAY OR IN AN EASEMENT DEDICATED TO CITY OF ROSWELL / FULTON COUNTY.
- BACKFLOW PREVENTERS SHALL BE INSTALLED IMMEDIATELY AFTER ALL WATER METERS IN THE PROPERTY OWNER'S RIGHT-OF-WAY.
- HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
- CONTRACTOR SHALL RELOCATE OR ADJUST AS NECESSARY ALL EXISTING UTILITY APPURTENANCES (CLEAN OUTS, VALVE/PETER BOXES AND/OR COVERS, MANHOLES, ETC.) LOCATED WITHIN THE LIMITS OF CONSTRUCTION TO FINISHED GRADE AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL COORDINATE THE REMOVAL AND OR RELOCATION OF EXISTING GAS AND WATER METERS, VALVES, LINES, POWER, TELEPHONE AND CABLE LINES THAT SERVICE THE EXISTING BUILDINGS WITH THE APPROPRIATE UTILITY COMPANIES.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING IMMEDIATELY ANY DAMAGE TO AN ACTIVE UTILITY.

### UTILITY LEGEND

— W —	DOMESTIC WATER
— F —	FIRE MAIN
— SS —	SANITARY SEWER - GRAVITY
— FM —	SANITARY SEWER - FORCE MAIN
— G —	GAS LINE (FOR REFERENCE ONLY)
— E —	ELECTRIC LINE (FOR REFERENCE ONLY)
FH	FIRE HYDRANT ASSEMBLY
FDC	FIRE DEPARTMENT CONNECTION
PIV	POST INDICATOR VALVE
WV	WATER VALVE
TB	CONCRETE THRUST BLOCKING
SM	SANITARY SEWER MANHOLE
CO	CLEANOUT
GT	GREASE TRAP
SL	SANITARY SEWER STRUCTURE LABEL

### GRAPHIC SCALE & ORIENTATION



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# TVS

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NO.	REVISIONS / SUBMISSIONS	DATE
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**FELLOWSHIP CHRISTIAN SCHOOL  
MODULAR CLASSROOM RELOCATION**  
 10965 WOODSTOCK ROAD  
 2000 BUILDING  
 ROSWELL, GEORGIA 30075

### SITE UTILITY PLAN

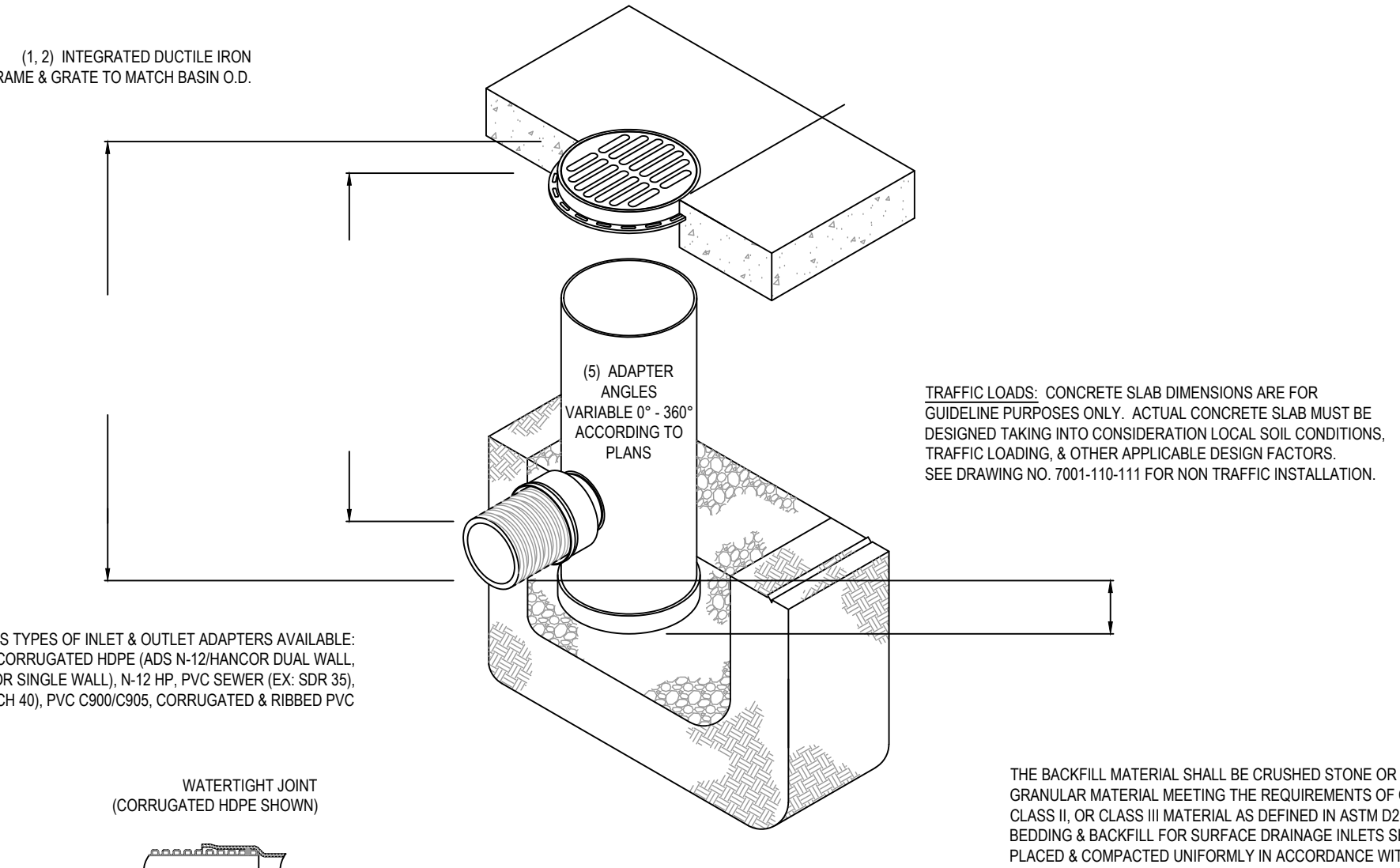
SEAL: TVS PROJECT NUMBER: P-24187 SHEET NUMBER: C500

ORIGINAL ISSUE DATE: \_\_\_\_\_

RELEASED FOR CONSTRUCTION



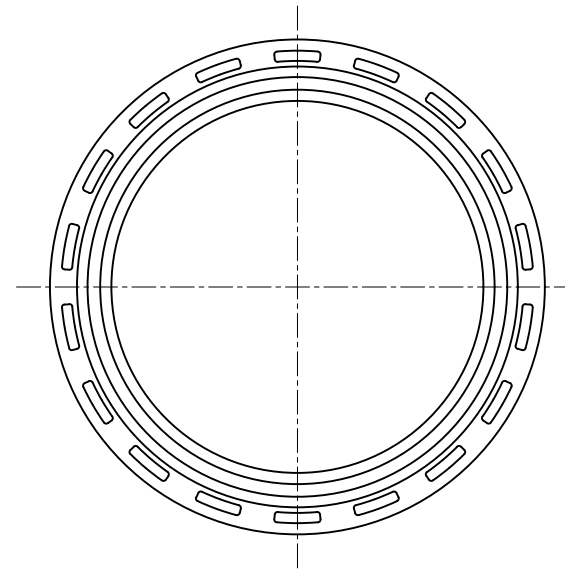
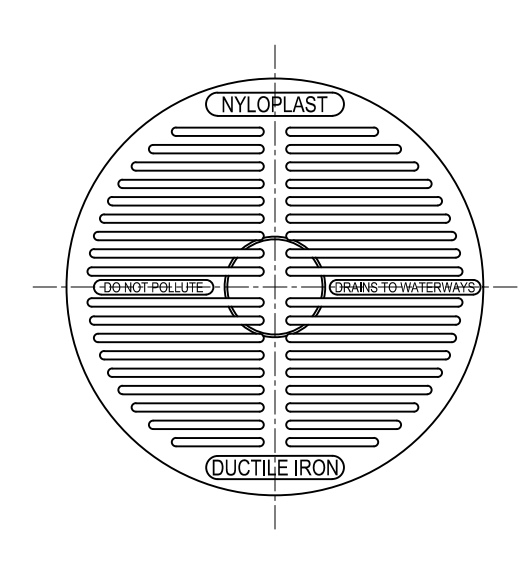
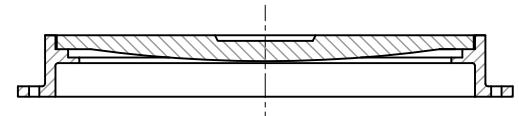
NYLOPLAST 18" DRAIN BASIN: 2818AG \_\_ X



1. GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.	THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.	DRAWN BY: EBC DATE: 04-03-06	MATERIAL: DUCTILE IRON	3130 VERONA AVE BUFORD, GA 30018 PHN (770) 932-2443 FAX (770) 932-2490 www.nyloplast-us.com	18 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL DWG NO. 7001-110-191 REV. E	
2. FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.		REVISIONS BY: NMH DATE: 03-14-16	PROJECT NO./NAME:			TITLE:
3. DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 8" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-066.		DWG SIZE: A SCALE: 1:30 SHEET: 1 OF 1	DWG NO.: 7001-110-191 REV. E			DWG NO.: 7001-110-191 REV. E
4. DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D1081 FOR CORRUGATED HOPE (A&N-12) MANHOLE DIAL WALL, N-12 HP, & PVC SEWER.						
5. ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 30°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.						

1899CGP

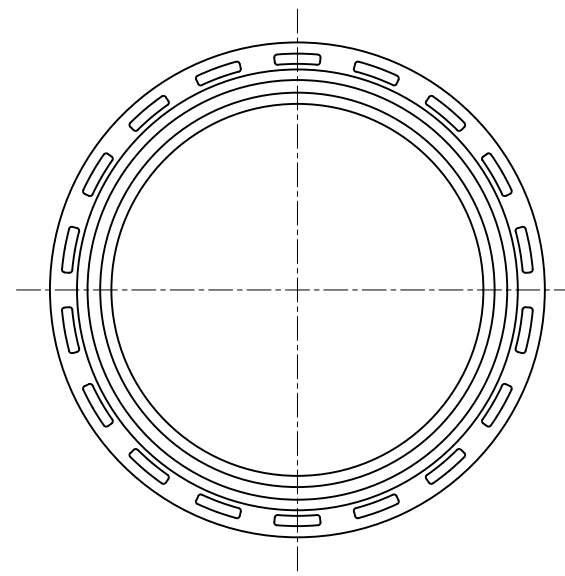
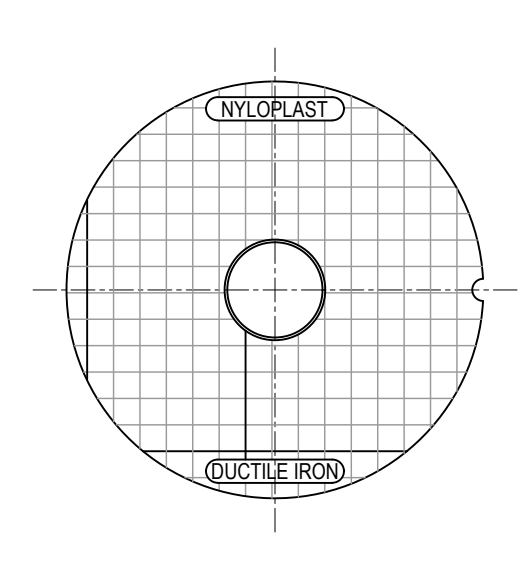
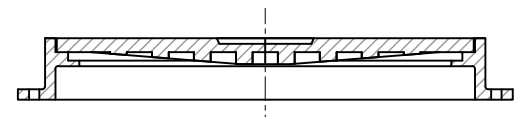
APPROX. DRAIN AREA = 87.29 SQ IN  
APPROX. WEIGHT WITH FRAME = 60.75 LBS



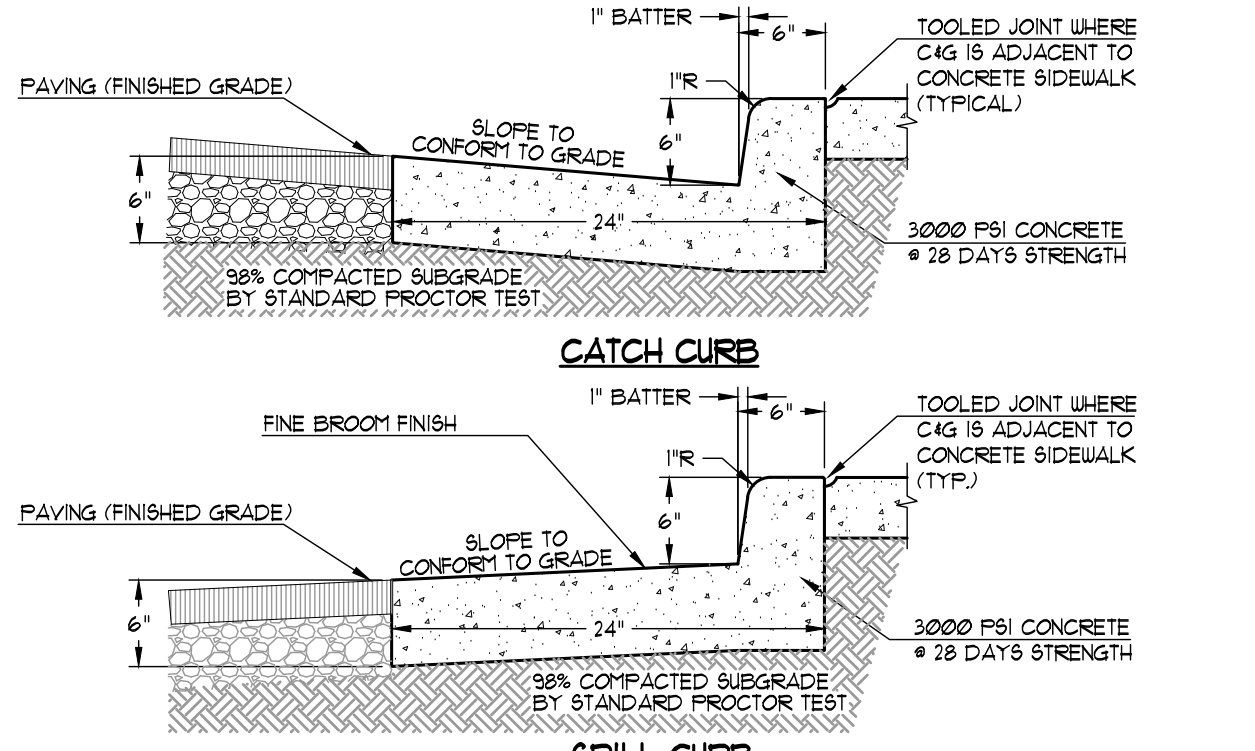
DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS MAY VARY. DIMENSIONS ARE IN INCHES. GRATE MEETS H-10 LOAD RATING. QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05. PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT. SIZE OF OPENING MEETS REQUIREMENTS OF AMERICAN DISABILITY ACT AS STATED IN FEDERAL REGISTER PART III, DEPARTMENT OF JUSTICE, 28 CFR PART 36. LOCKING DEVICE AVAILABLE UPON REQUEST SEE DRAWING NO. 7001-110-028.	THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.	DRAWN BY: EBC DATE: 3-7-06	MATERIAL: DUCTILE IRON	3130 VERONA AVE BUFORD, GA 30018 PHN (770) 932-2443 FAX (770) 932-2490 www.nyloplast-us.com	18 IN PEDESTRIAN GRATE ASSEMBLY - TYPE C DWG NO. 7001-110-212 REV. C	
		REVISIONS BY: EBC DATE: 3-13-10	PROJECT NO./NAME:			TITLE:
		DWG SIZE: A SCALE: 1:10 SHEET: 1 OF 1	DWG NO.: 7001-110-212 REV. C			DWG NO.: 7001-110-212 REV. C

1899CGC

APPROX. WEIGHT WITH FRAME = 68.50 LBS

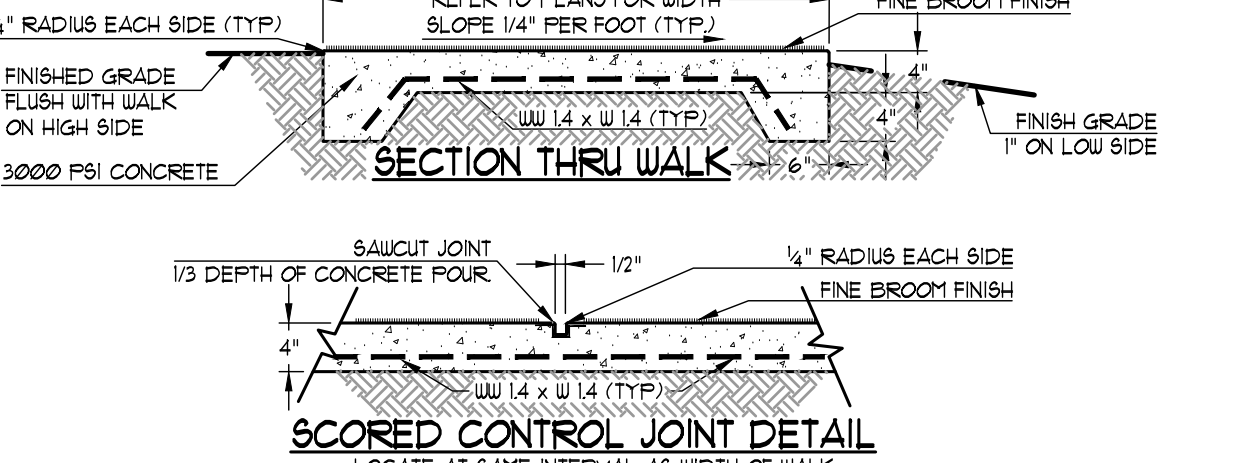


DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS MAY VARY. DIMENSIONS ARE IN INCHES. GRATE MEETS H-20 LOAD RATING. QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05. PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT. LOCKING DEVICE AVAILABLE UPON REQUEST SEE DRAWING NO. 7001-110-027.	THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.	DRAWN BY: EBC DATE: 3-4-06	MATERIAL: DUCTILE IRON	3130 VERONA AVE BUFORD, GA 30018 PHN (770) 932-2443 FAX (770) 932-2490 www.nyloplast-us.com	18 IN SOLID COVER ASSEMBLY - TYPE C DWG NO. 7001-110-214 REV. C	
		REVISIONS BY: EBC DATE: 3-13-10	PROJECT NO./NAME:			TITLE:
		DWG SIZE: A SCALE: 1:10 SHEET: 1 OF 1	DWG NO.: 7001-110-214 REV. C			DWG NO.: 7001-110-214 REV. C

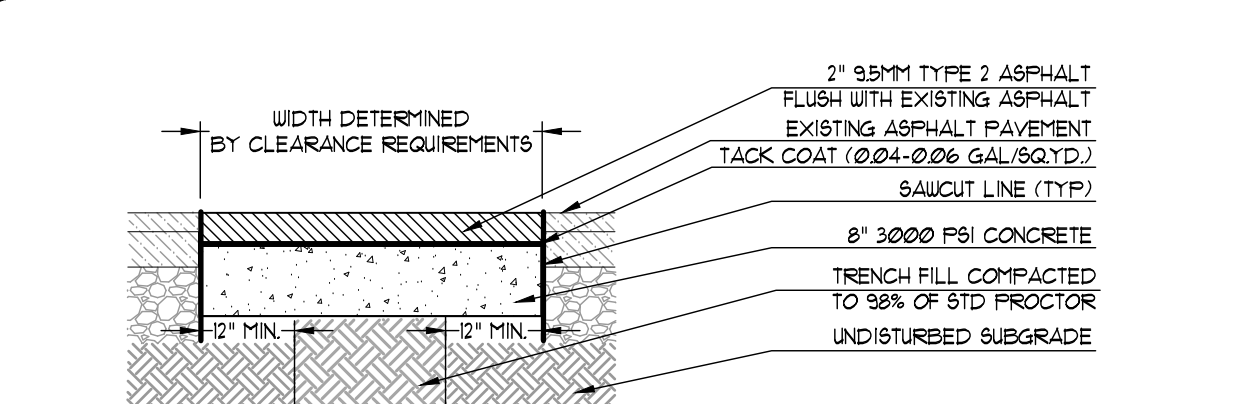


24" CONCRETE CURB & GUTTER

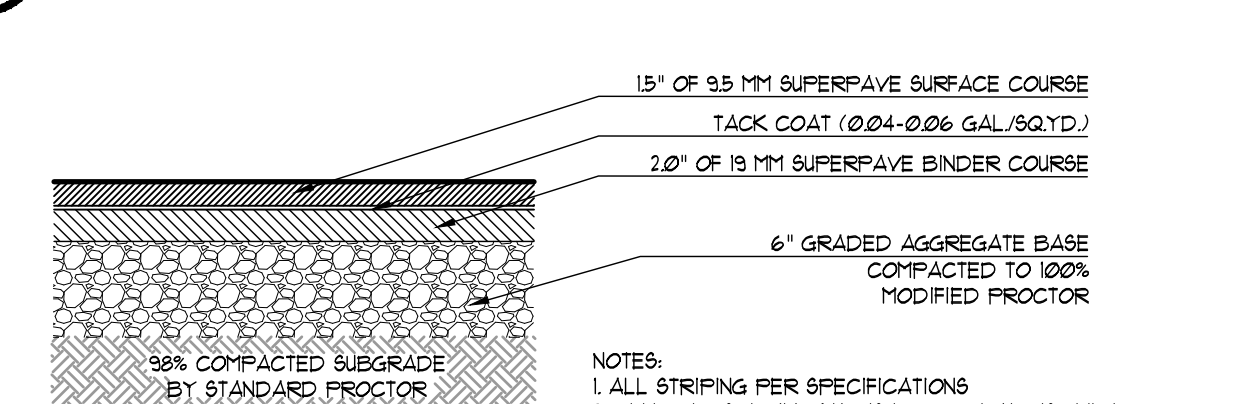
CONTRACTOR SHALL PROVIDE A SCORED CONTROL JOINT AT 10'-0" O.C. (TYP) AND AN EXPANSION JOINT AT 40'-0" O.C. (TYP). CONTRACTOR SHALL PROVIDE AN EXPANSION JOINT AT ALL RADIUS RETURNS AND AT THE MIDPOINT OF THE CURB. GUTTER SHALL BE ACCURATELY FORMED TO THE RADIUS AS INDICATED ON PLANS.



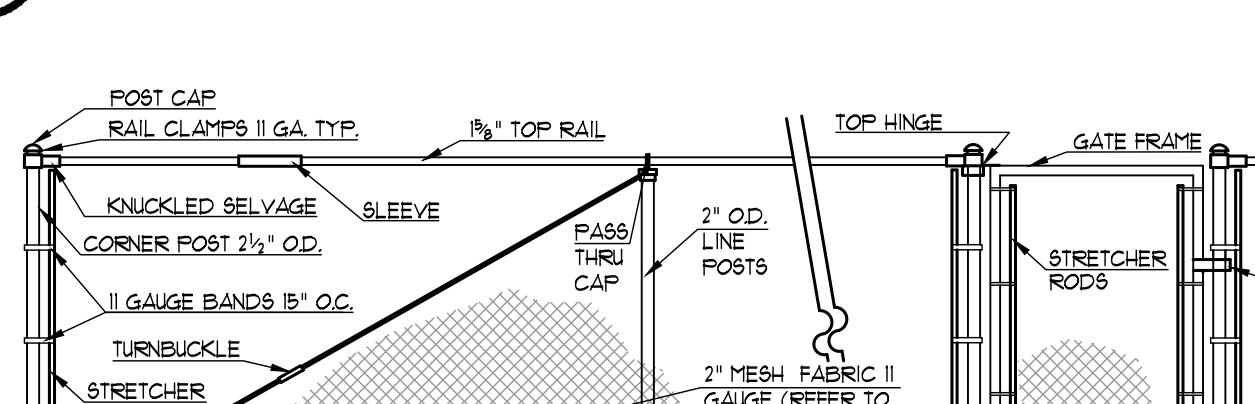
CONCRETE WALK



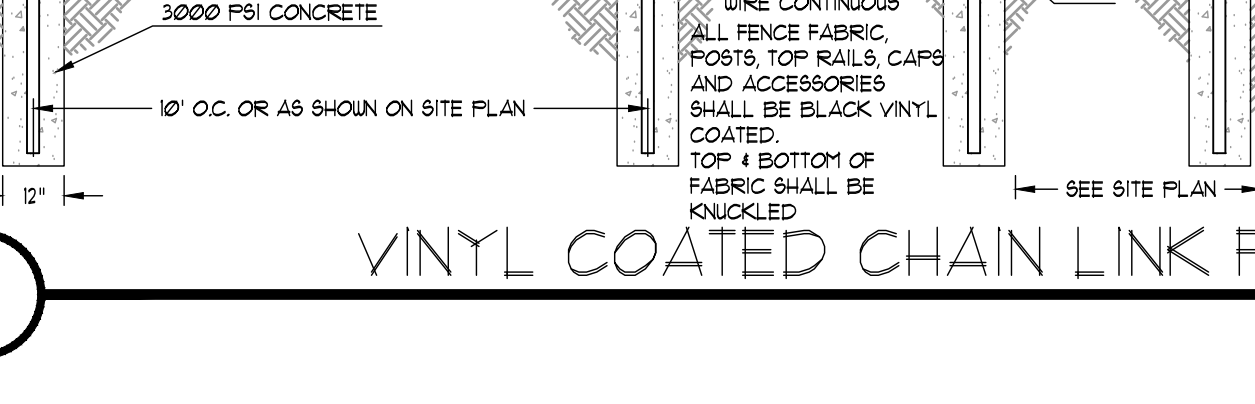
ASPHALT SAWCUT & PATCH



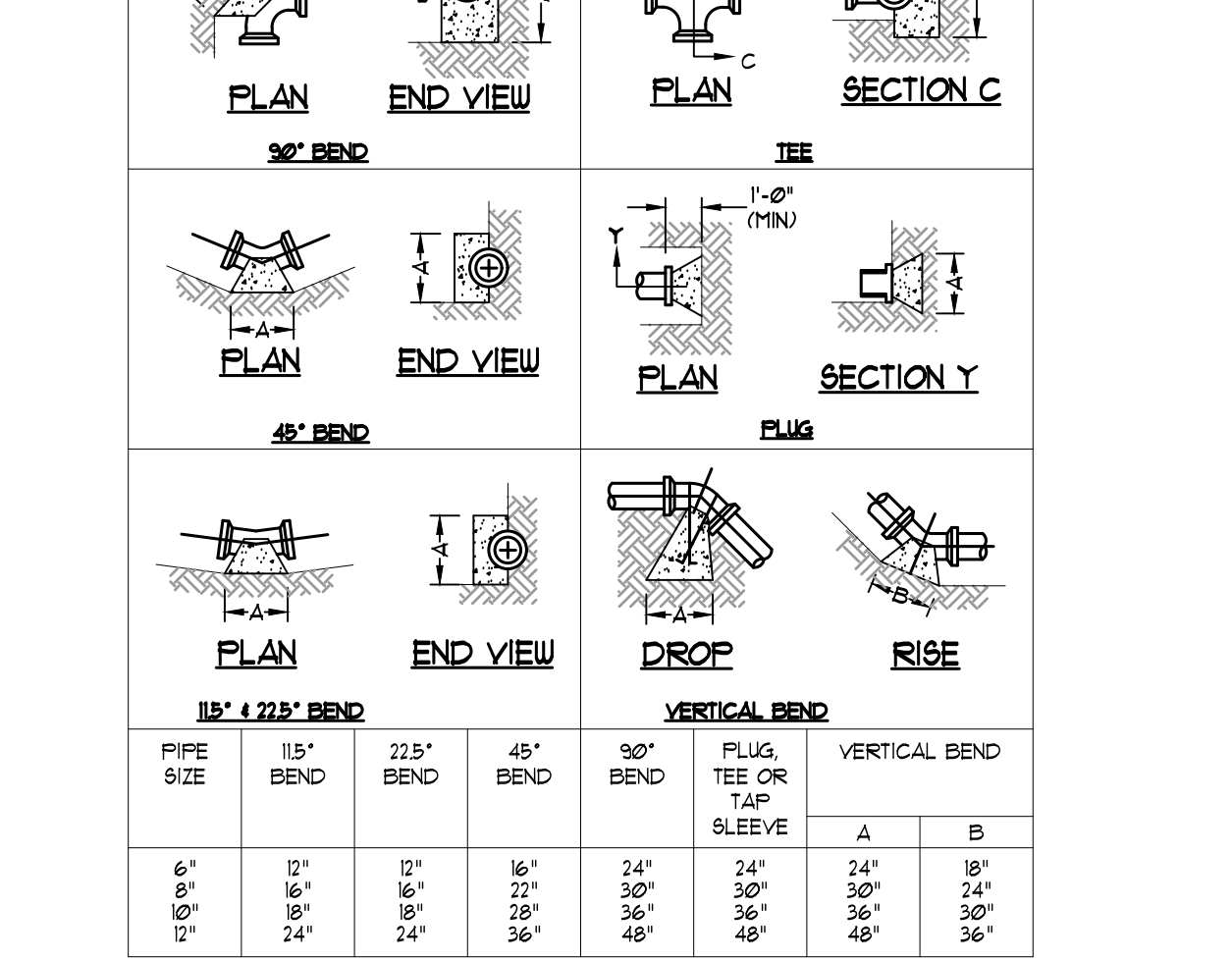
MEDIUM DUTY ASPHALT PAVING



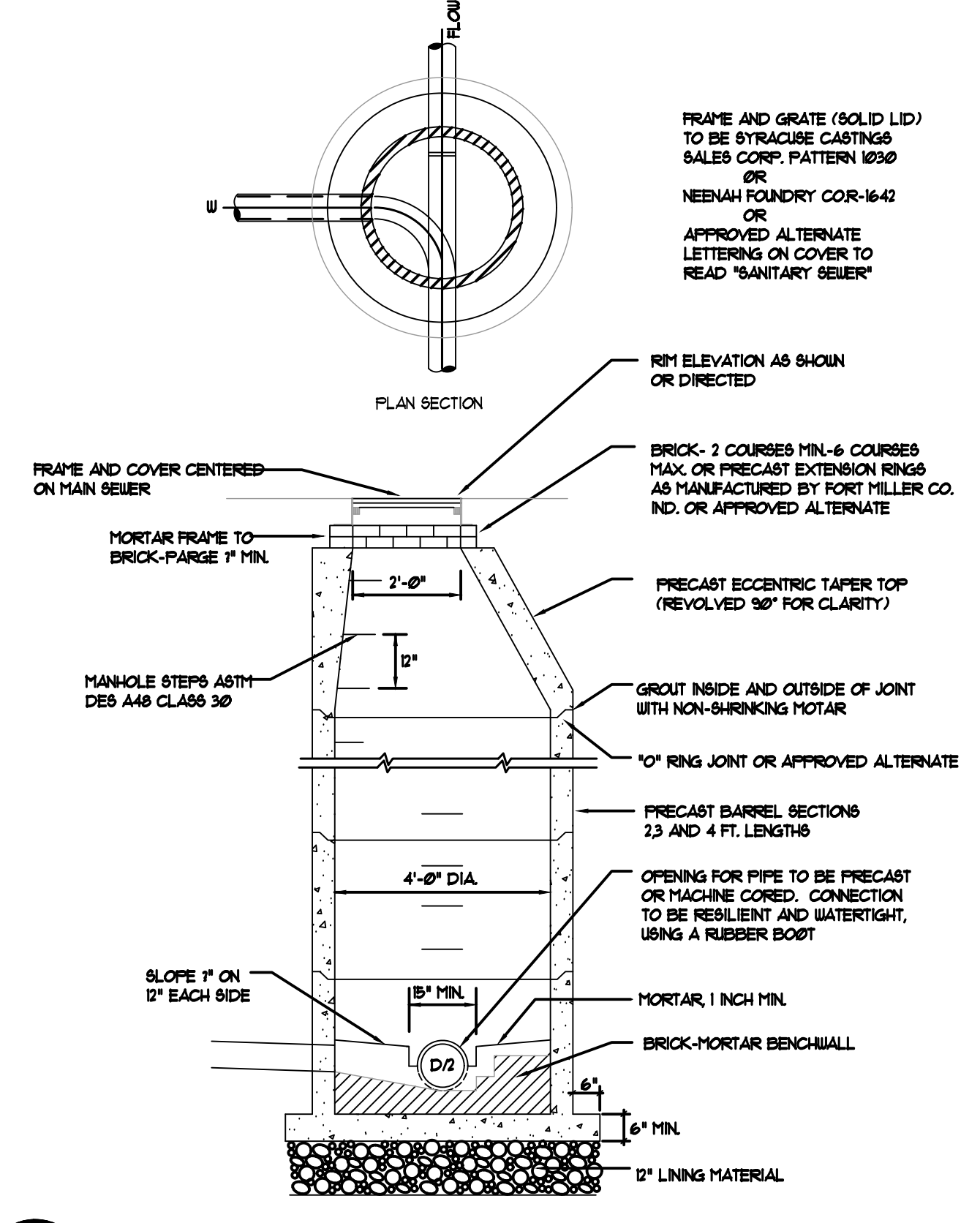
VINYL COATED CHAIN LINK FENCE



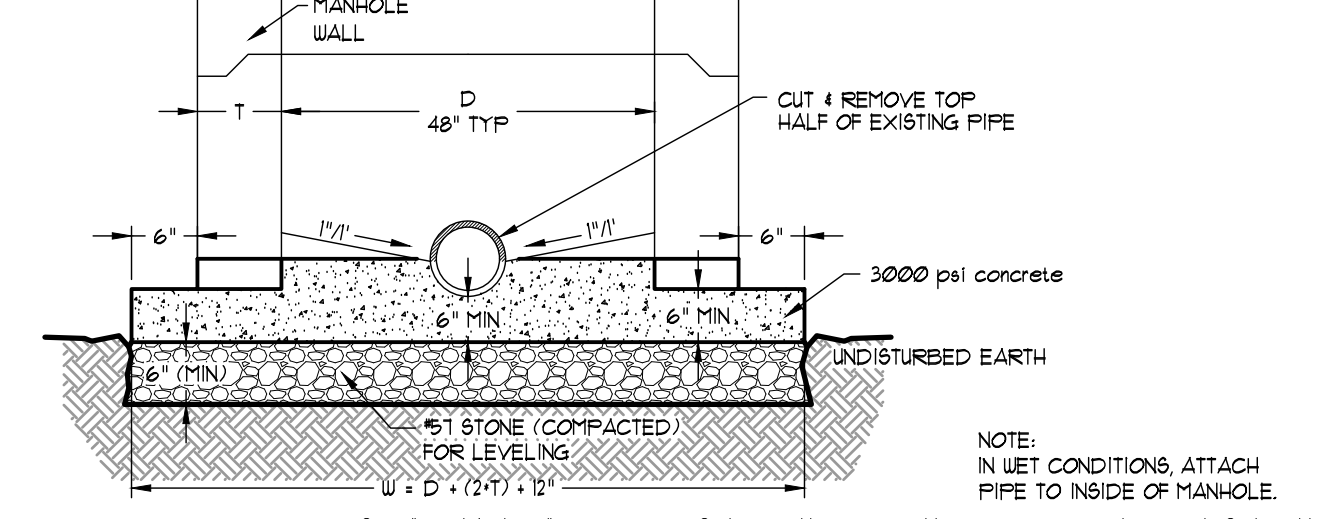
THRUST BLOCKING



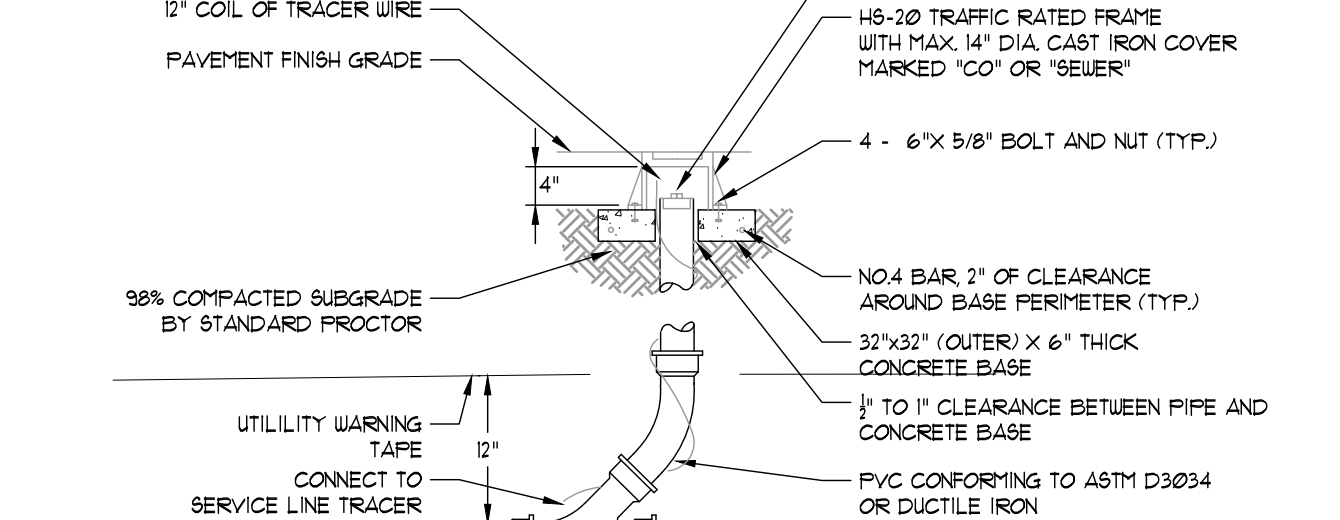
THRUST BLOCKING



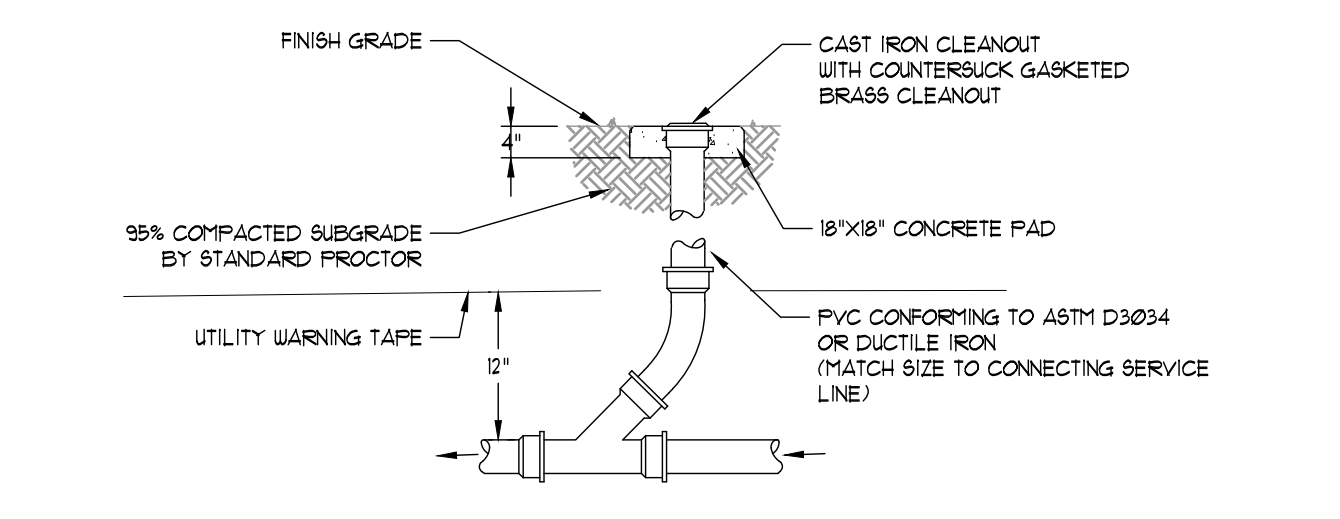
SANITARY SEWER MANHOLE



SANITARY SEWER "DOGHOUSE"

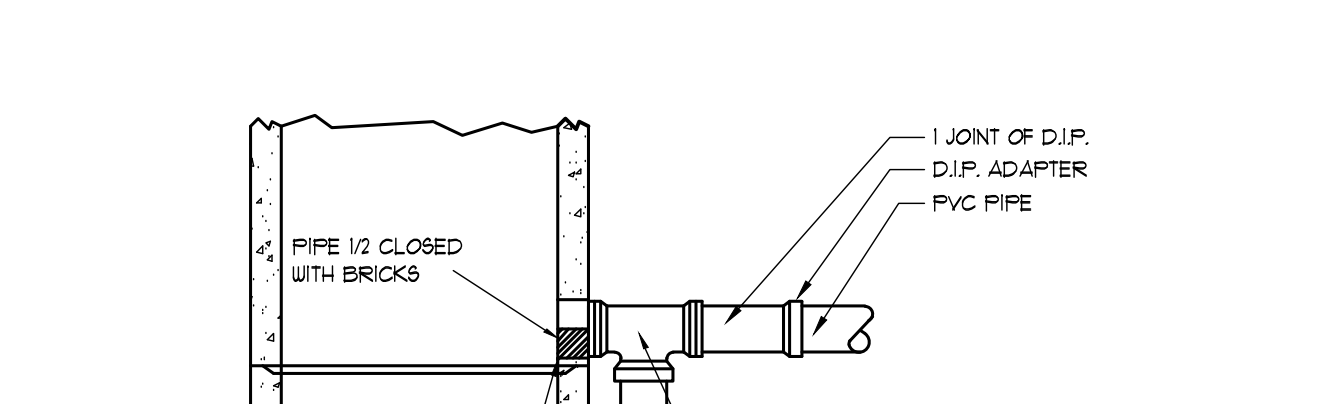


4" TO 8" CLEANOUT, VEHICULAR TRAFFIC AREAS

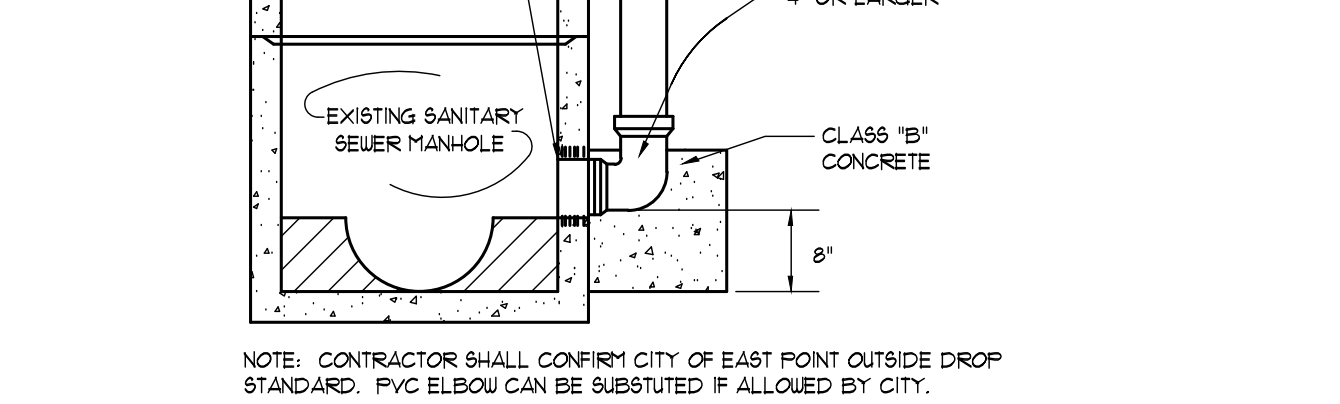


CLEANOUT, NON-VEHICULAR TRAFFIC AREAS

SANITARY CLEANOUT



SANITARY OUTSIDE DROP



SANITARY OUTSIDE DROP

UTILITY LOCATION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE TO SECURE THE SERVICES OF A PRIVATE UTILITY LOCATOR FIRM DURING THE ENTIRE COURSE OF CONSTRUCTION. CONTRACTOR SHALL PAY FOR SAID SERVICES.
- CONTRACTOR SHALL IMMEDIATELY REPAIR ALL UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER.
- THE UTILITIES SHOWN ARE SCHEMATIC AND FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE DESIGN PROFESSIONAL ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF UTILITIES WITHIN THE LIMITS OF THE WORK. DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR FROM HIS/HER OPERATIONS SHALL BE IMMEDIATELY REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION OF BACKFILL OF ALL UTILITY TRENCHES WITHIN SITE WORK LIMITS. THIS INCLUDES TRENCHES DUG AND BACKFILLED BY LOCAL UTILITIES SUCH AS POWER, GAS, TELEPHONE, ETC. CONTRACTOR SHALL PROVIDE ADDITIONAL BACKFILL AND COMPACTION AS NECESSARY IF SETTLEMENT OCCURS.

CALL BEFORE YOU DIG



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- DO NOT DUPLICATE DRAWINGS WITHOUT PERMISSION.
- READ THE SPECIFICATIONS, THIS SET OF DRAWINGS AND SPECIFICATIONS DEFINE PROJECT SCOPE AND CONTRACT REQUIREMENTS. INDIVIDUAL SHEETS SEPARATED FROM THE SET MAY NOT ADEQUATELY REFLECT ALL INFORMATION NEEDED TO SUITABLY COVER CERTAIN ITEMS. DO NOT SEPARATE THIS SET OF DRAWINGS INTO INDIVIDUAL SHEETS.

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5	LDP SRD SUBMITTAL	02/24/2025
4	LDP 2ND SUBMITTAL	02/05/2025
3	LDP SUBMITTAL	01/08/2025
2	DESIGN DEVELOPMENT	11/17/2025
1	SCHEMATIC DESIGN	07/25/2025
NO. REVISIONS / SUBMISSIONS		DATE

FELLOWSHIP CHRISTIAN SCHOOL  
 MODULAR CLASSROOM RELOCATION  
 10965 WOODSTOCK ROAD  
 2000 BUILDING  
 ROSWELL, GEORGIA 30075

SHEET TITLE  
**SITE WORK CONSTRUCTION DETAILS**

GEORGIA 811  
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Attachment: ZMCC-0226-000003 East Rendering (Fellowship Christian School Retaining Wall)

FELLOWSHIP CHRISTIAN SCHOOL  
DINING AND CLASSROOM ADDITION

EAST APPROACH VIEW





**City of Roswell**  
**Committees of Council**  
**AGENDA ITEM REPORT**

ID # - 10391

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**MEETING DATE:** April 14, 2026  
**DEPARTMENT:** Transportation  
**ITEM TYPE:** Guidance

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### **Discussion of the TSPLOST 3 Project List**

**Action Required:**

Guidance

**Description:**

Staff will be presenting the draft TSPLOST project list based on input from the Mayor and Council. Staff is seeking guidance from the committee on any projects they wish to delete or modify scope from this list. The final list of Roswell Projects must be submitted to Fulton County by May 31, 2026.

Staff is presenting a proposed schedule of meetings and activities to develop the final project list for inclusion in the Fulton County TSPLOST 3 referendum. The summary of activities remaining are:

**April - Public outreach**

- Collect public input on project types and specific projects through a web-based survey

**April 28 or May 12 - Committee Meeting(s)**

- Present final project list combining input from public and elected officials

**May 11 or May 26 - Mayor and City Council**

- Final adoption by Mayor and Council before sending list to Fulton County for adoption

**Financial Impact:**

N/A

**Comments:**

No backup documents



**City of Roswell**  
**Committees of Council**  
**AGENDA ITEM REPORT**

**ID # - 10388**

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**MEETING DATE:** April 14, 2026  
**DEPARTMENT:** Committees of Council  
**ITEM TYPE:** Discussion

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**Discussion of the Riverside Park Sprayground being converted from a flow-through water system to a recirculating water system.**

**Action Required:**

Discussion

**Description:**

Staff was requested to evaluate the cost and operational impacts of converting the Riverside Park sprayground water system from the originally designed flow-through system to a recirculating system. Based on preliminary information from the vendor, the attached executive brief summarizes the anticipated financial and timeline impacts of this change within the current project scope.

**Financial Impact:**

N/A

**Comments:**

See attached



# Sprayground Analysis – Riverside Park (3.12.26)

Project Manager: Steven Malone

Revised: 3.16.26

## PROJECT EXECUTIVE SUMMARY

### Background

Staff were requested to determine the cost and operational impacts of changing the sprayground water system from the originally designed **flow-through system** to a **recirculating system**. Based on preliminary information provided by the vendor, the following summarizes the anticipated financial and timeline implications of making this change under the current project scope.

### Immediate Project Cost Impacts

If the system design is changed from a flow-through system to a recirculating system, the following additional upfront costs are anticipated:

**Total Estimated Immediate Cost Increase: \$366,622**

Breakdown:

- **Analysis (Starr Whitehouse):** \$4,000 (charged to construction admin for Riverside Park project)
- **Redesign by Starr Whitehouse (minimum estimate):** \$26,925
- **Construction Cost Increase** (conversion to recirculating system): \$177,717
  - Does not include construction cost impacts due to schedule change/delay or hiring a FCBOH licensed pool contractor.
  - Flow-through - \$194,115 versus Recirculating - \$371,832
- **Additional Site Improvements Required:** \$157,980 (*includes 20% contingency*)

### Project Timeline Impact

Changing the system type at this stage would also result in an estimated **20–24 week delay** to the overall project schedule due to redesign, permitting, and construction adjustments.

## 20-Year Lifecycle Cost Comparison

System Type	Installation Cost	20-Year Maintenance (Includes Water Usage)	Staffing Requirement	20-Year Total
Flow-Through System	\$194,115	\$1,044,420 (\$52,221 annually/\$38,009 of that is water utility cost)	None	\$1,238,535
Recirculating System	\$556,737	\$755,120 (\$37,756 annually/\$445 of that is water utility cost)	\$800,000 (\$40,000 annually)	\$2,111,857

**Maintenance above includes utility costs, labor, spring start up, winterization, and chemical costs (for recirc), and annual DOH inspection fees.**

**Note:** The recirculating system requires a dedicated onsite operator during operation hours. The estimated staffing cost of **\$40,000 annually** has been included in the lifecycle cost calculation.

### Key Considerations

- Converting to a recirculating system would require **approximately \$366,622 in additional immediate project funding.**
- The change would likely **delay project completion by approximately 20–24 weeks.**
- Over a 20-year period, the recirculating system results in **approximately \$873,322 higher total lifecycle costs** compared to a flow-through system, primarily due to required staffing.

### Water Usage & Features

- The flow-through sprayground design includes 35 individual spray features (“spigots”), with each feature using between 1 and 8 gallons per minute depending on the element.
- When operating together, the system uses approximately 75–96 gallons per minute, depending on the sequencing of features.
- Over the course of a typical operating season, this equates to approximately 1.98–2.53 million gallons of water usage.
- The Roswell Area Park outdoor pool holds approximately 500,000 gallons, and the Roswell Adult Aquatic Center indoor pool holds approximately 100,000 gallons. For context, our team typically lowers the water level of the RAP pool at least once per year—occasionally twice—to perform routine maintenance and repairs. Each occurrence requires the pool to be refilled.
- *The table referenced above incorporates the estimated water costs for both the flow-through and recirculating systems as part of the overall maintenance cost analysis.*

### Pavilion Rentals

In **2025**, Riverside Park’s pavilion rental program generated approximately **\$17,190 in total revenue across 151 rentals**, with the majority of activity distributed across all pavilion types. The four small pavilions (Pavilions #1–#4) each experienced moderate but not full utilization, confirming that available rental capacity consistently exceeded demand.

Given this usage pattern, the planned reduction from four to three small pavilions is not anticipated to result in a material loss of rental revenue. Additionally, small pavilion rental fees were increased by \$25 in 2025, further supporting revenue stability despite potential reductions in inventory.

The redesigned park will also introduce a new large, covered event pavilion with an adjacent lawn, replacing the existing sprayground pavilion. This enhanced amenity is intended to serve as a premier rental space capable of accommodating larger gatherings and higher-value events that current small pavilions cannot support. Staff are developing a revised fee structure for this space, and it is anticipated that this new offering will offset any minor reductions in small pavilion capacity while expanding overall rental opportunities and revenue potential within the park. The enhanced rental opportunity provided by the new pavilion and lawn should strengthen the park's overall event and rental program rather than diminish it.

## Concession Information

Seasonal concession operations at the Riverside Sprayground have historically been managed entirely by City staff and generate approximately **\$10,000 in gross revenue per season**. However, when evaluated against operational expenses—including staffing, supplies, and general operations—overall program costs have exceeded concession revenues, resulting in a net loss.

During the design phase of the Riverside Park improvements, staff also explored the feasibility of introducing a café-style or permanent food service operation. Based on industry feedback gathered through direct conversations with operators—including the team at Nantahala Outdoor Center, who manage multiple food and beverage operations along multiple river locations in Georgia and North Carolina—it was determined that site traffic levels and the seasonal nature of river activity would not support a financially viable café, coffee shop, or similar fixed operation. Feedback indicated that, under current conditions, the City would likely need to subsidize any permanent commercial vendor to maintain operations.

In addition, broader evaluation of snack bar and concession operations across the City's park system reflects a similar trend. Over time, these operations have generally declined, with ongoing challenges in securing and retaining consistent third-party vendors. This has resulted in low financial performance and inconsistent service levels at several locations, further reinforcing the limited viability of traditional fixed concession models within the park system.

While co-located food and beverage concepts may be more viable at locations such as Don White Park or Azalea Park due to existing rafting-related traffic—potentially requiring alcohol sales to ensure profitability—this model was not deemed appropriate for Riverside. As a result, and in combination with historical concession performance and system-wide trends, a permanent concession facility was not included in the Riverside Park redesign. Instead, the park will maintain flexibility by allowing for food trucks or mobile food vendors during peak demand periods (e.g., special events such as Riverside Sounds), providing an enhanced visitor experience without the ongoing financial burden of a City-operated or subsidized fixed facility.



**STARR WHITEHOUSE**  
Landscape Architects  
and Planners PLLC

3/12/2026

**SUMMARY COMPARISON OF FLOW-THROUGH SYSTEM VS. RECIRCULATING SYSTEM**

SYSTEM ITEMS	FLOW-THROUGH SYSTEM	RECIRCULATING SYSTEM - Standard
Equipment Cost	\$126,115	\$283,832
Install Costs*	\$68,000	\$88,000
Site Improvements for Change to Recirculation (Fence/E-phone)	-	\$157,980
Soft Costs for Redesign**	-	\$26,925
<b>Total Equip + Install</b>	<b>\$194,115</b>	<b>\$556,737</b>

\*Install costs for recirculation require excavation for the tank and cost of a crane rental to set the mech equipment.

\*\*Permitting through Fulton BOH requires a licensed pool contractor to sign/seal and submit the drawings and permit application. Cost not currently included in soft costs.

Staffing for required onsite operator (\$40,000 annually)	-	\$800,000
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Annual Maintenance Costs***	\$52,221	\$37,756
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\*\*\*Includes utility costs, labor, spring start up, winterization, and chemical costs (for recirc), and annual DOH inspection fees.

Maintenance/Ops Cost/20 years	\$1,044,420	\$755,120
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<b>Total Lifespan Cost</b>	<b>\$1,238,535</b>	<b>\$2,111,857</b>
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Lifespan Cost Difference (Flow-Through Minus Standard Recirc)	<b>(\$873,322)</b>
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Recirculating system will require engineered drawings with a stamp, prior to permitting with DOH/update to LDP.

Standard recirc requires a vault 20'x9' and an additional equipment room.

Cost differences do not reflect the addition of a licensed pool contractor to the design team nor construction schedule financial impacts.

Additional Soft Costs

Design Fee Changes	\$ 22,500.00	Estimate with current team.
Add Licensed FCBOH Pool Contractor to Design Team		TBD.
Sprayground Assessment	\$ 3,900.00	
Construction Schedule Impacts - Cost		Per MAPP
Construction Permitting Fees (DOH)	\$ 525.00	Per DOH Permit Plan Review fee schedule.
Expediter (If Desired)		
Operational Permit (DOH)		Unclear what this fee is/if required.
<b>Total</b>	<b>\$ 26,925.00</b>	

Additional Site Improvements for Change to Recirculation System

Utility Updates	\$ 10,350.00	*rough estimate.
Fence (LF)	\$ 82,500.00	required by pool code
Fence Gate	\$ 10,000.00	required by pool code
Emergency Phone:	\$ 10,000.00	required by pool code
Pool Signage (rules per code/no lifeguard on duty per code):	\$ 2,500.00	*rough estimate.
Misc. required items (clock, emergency kit)	\$ 2,500.00	*rough estimate.
Drinking fountain:	\$ 13,800.00	required by pool code
	<b>\$ 131,650.00</b>	
20% contingency	\$ 26,330.00	
<b>Total Site Improvements for Change to Recirculation</b>	<b>\$ 157,980.00</b>	

Assumptions/Notes:

Assumes operating hours are from 10a to 7p.

Assumes the sprayground will be open Memorial Day to Labor Day.

100 days/30=3.3 months

Assumes the following usage (given activators help to reduce continuous run time when no one is present):

Mon-Friday: 4-5 hours continuous use (2 hours at mid day and 2-3 hours in the evening).

Saturday-Sunday: 7-9 hours continuous use (assumes Sunday visits are lighter in the morning; but for weekends to be packed).

Equipment costs are inclusive of costs for shop drawings and PE stamps.

Recirculation requires a certified employee for inspection and maintenance.

Attachment: Sprayground Analysis @ Riverside Park - Executive Brief (3.12.26) (Riverside Park Sprayground Discussion)